# **INDEX OF SHEETS**

## DECOUDTION

# PRELIMINARY & FINAL MAJOR SITE PLANS FOR PROPOSED FARM BASED BREWERY AT BACKER FARM BLOCK 109, LOT 23 ZONE: R-10 (SINGLE FAMILY RESIDENTIAL) TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY

SHEET	DESCRIPTION
1	COVER SHEET / LOCATION MAP / KEY MAP
2	ENVIRONMENTAL CONSTRAINTS MAP
3	SITE PREPARATION PLAN
4	LAYOUT AND DIMENSIONING PLAN
5	GRADING, UTILITY AND SOIL EROSION & SEDIMENT CONTROL PLAN
6	LIGHTING PLAN
7 - 8	CONSTRUCTION DETAILS

### **GENERAL NOTES**

- EXISTING CONDITION INFORMATION TAKEN FROM "UPDATED BOUNDARY & LOCATION SURVEY, 32 IRONIA ROAD, BLOCK 109, LOT 23, TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY" DATED SEPTEMBER 15, 2020 AND "PARTIAL TOPOGRAPHIC SURVEY, 32 IRONIA ROAD, BLOCK 109, LOT 23, TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY" DATED FEBRUARY 19, 2021 PREPARED BY SUBURBAN CONSULTING ENGINEERS, LLC. HORIZONTAL DATI IM BASED ON NAD-83 PER GPS SATELLITE ORSERVATION VERTICAL DATI IM IS BASED ON NAVD-88 PER GPS SATELLITE ORSERVATION. OVERALL TOPOGRAPHY REYOND AREA OF PROPOSED SITE IMPROVEMENTS AS SHOWN ON SHEET 2 TAKEN FROM FROM NEW JERSEY HIGHLANDS COUNCIL 2006-2007 LIGHT DETECTION AND RANGING (LIDAR) CONTOUR DATA
- REFER TO PLANS PREPARED BY BYRNE DESIGN ASSOCIATES FOR INFORMATION ON THE BUILDING RENOVATION
- . REFER TO SEPARATE SET OF PLANS PREPARED BY ROTH ENGINEERING, LLC ENTITLED "SEPTIC DESIGN PLANS FOR PROPOSED FARM BASED BREWERY AT BACKER FARM" FOR INFORMATION REGARDING PROPOSED SEPTIC SYSTEM. THE PROJECT REQUIRES TREATMENT WORKS APPROVAL (TWA) BY THE NJDEP AND ENDORSEMENT BY THE LOCAL AUTHORIT
- 'HIN A NON-CONFORMING PLANNING AREA THEREFORE THE PROJECT IS NOT SUBJECT TO ANY HIGHLANDS REGULATIO

I OCATION OF WETLANDS AND WETLAND TRANSITION AREAS ARE SHOWN RASED ON ASSESSMENT PERFORMED BY DAVID KRUEGER, PWS, CWD OF ENVIRONMENTAL TECHNOLOGY, INC. ON 11/20/20, THE PROJECT DOES NOT PROPOSED ANY DISTURBANCE WITHIN THE WETLAND AND/OR WETLAND TRANSITION AREAS AND RECEIVED A FRESHWATER WETLAND LETTER OF INTERPRETATION: FOOTPRINT OF DISTURBANCE THAT WAS ISSUED BY THE NJDEP ON 10/14/21

- THE FLOOD INSURANCE RATE MAP DATED FEBRUARY 26, 2016 REVEALS A TRIBUTARY OF THE NORTH BRANCH RARITAN RIVER THAT MEANDERS THE WESTERN PROPERTY LINE. THERE IS ALSO A CHANNEL THAT IS A SMALLER TRIBUTARY OF THE NORTH BRANCH RARITAN RIVER THAT IS LOCATED ON-SITE FURTHER TO THE EAST. THESE WATERCOURSES ARE REGULATED AND ARE CATEGORY ONE (C1) WATERS WITH A 300 FOOT RIPARIAN ZONE MEASUR LANDWARD FROM THE TOP OF BANK. THE PROPOSED ACTIVITIES WITHIN THE RIPARIAN ZONE ARE WITHIN ACTIVELY DISTURBED AREAS AND MEET THE REQUIREMENTS FOR PERMIT-BY-RULE 10 (NIAC 7:13-7:10) FOR GENERAL CONSTRUCTION ACTIVITIES LOCATED OUTSIDE A FLOOD HAZARD AREA IN A RIPARIAN ZONE. THE PROPERTY IS IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FLOOD INSURANCE RATE MAP WITH A REVISED PRELIMINARY DATE OF FEBRUARY 26, 2016 HOWEVER, THE TRIBUTARY OF THE NORTH BRANCH RARITAN RIVER HAS A DRAINAGE OF 288 ACRES BASED ON LISGS STREAM STATS WHICH IS GREATER THAN 50 ACRES THEREFORE THERE IS A FLOODPLAIN ASSOCIATED WITH THIS WATERCOURSE. THE PROJECT DOES NOT PROPOSE ANY DISTURBANCE IN THE FLOOD HAZARD AREA. IN CASES WHERE THE FEMA DOES NOT DELINEATE THE FLOODPLAIN, THE APPROXIMATION METHOD (N.J.A.C. 7:13-3.5 - METHOD 5) CAN BE USED AS SHOWN BELOW
- WATERSHED MANAGEMENT AREA (WMA) = 3
- CONTRIBUTORY DRAINAGE AREA (CDA) = 288 ACRES +/-APPROX. FLOOD DEPTH ABOVE AVERAGE STREAMBED ELEVATION (FROM TABLE 1) = 10 FEET
- APPROX. STREAMBED ELEVATION ADJACENT TO EXITING BARN/PROPOSED BREWERY = 472 +
- THE APPROXIMATE FLOOD HAZARD DESIGN FLOOD FLEVATION = 482 +
- CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR MAKING THEIR OWN DETERMINATIONS REGARDING SUBSURFACE CONDITIONS, INCLUDING BUT NOT LIMITED TO SOIL CHARACTERISTICS, AS WELL AS DEPTH TO ROCK THE DESIGN ENGINEER WAS NOT CONTRACTED TO MAKE ANY SUCH DETERMINATIONS
- ITIES SHOWN HEREON ARE APPROXIMATE AND BASED SOLELY UPON ABOVE GROUND OBSERVATIONS. MARK-OUTS AND/OR PLANS PROVIDED BY UTILITY COMPANIES. THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN REGARDING UNDERGROUND UTILITIES IS NOT GUARANTEED BY THE ENGINEER. CONNECTIONS BETWEEN STRUCTURES. IF AND WHERE SHOWN. MAY NOT REPRESENT ACTUAL BELOW GROUND CONDITIONS. CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR ORDERING MARK-OUTS. COORDINATION WITH THE VARIOUS UTILITY COMPANIES AND FOR MAKING THEIR OWN DETERMINATION AS TO THE LOCATION AND DEPTH O ALL UNDERGROUND UTUITIES PRIOR TO ANY CONSTRUCTION TO ASSURE DISTURBANCE AND/OR DISRUPTION OF EXISTING UTUITIES IS AVOIDED WHERE POSSIBLE AND MINIMIZED IN ALL CASES. AS THE EXACT FLEVATION OF EXISTING JTILITIES MAY BE UNKNOWN TO ENGINEER. CONTRACTOR IS ADVISED THAT THE POTENTIAL FOR CONFLICTS WITH PROPOSED WORK MAY EXIST. EXPLORATORY EXCAVATIONS. CONTRACT CONTINGENCIES OR EXCLUSIONS WITH OWNER SHOULD BE MADE TO ACCOMMODATE SUCH AN EVENT. IN THE EVENT THE CONTRACTOR IDENTIFIES A CONFLICT BETWEEN THE PROPOSED WORK AND EXISTING UTILITIES, THE CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER AND THE OWNER PRIOR TO ANY WORK BEING PERFORMED.
- a. THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF THE EXISTING UTILITY TO WHICH CONNECTION IS BEING MADE BEFORE LAYING ANY PIPE, CONDUIT, ETC. DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER
- b. ANY TEMPORARY INTERRUPTION OF SERVICE TO THE SITE AND/OR ADJACENT PROPERTIES SHALL BE PRE-APPROVED IN WRITING (EMAIL) BY THE RESPECTIVE UTILITY c. ELECTRIC, TELEPHONE, CABLE TELEVISION AND ALL OTHER UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND AT LOCATIONS DETERMINED BY EACH RESPECTIVE UTILITY, SUBJECT TO ANY REQUIRED MUNICIPAL APPROVAL, REGARDLESS OF WHETHER OR NOT THE UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF ALL UTILITY MAINS AND SERVICES WITH EACH UTILITY ENTITY AND PROVIDE WHATEVER CONSTRUCTION SUPPORT IS REQUIRED FOR ACHIEVING UTILITY SERVICE. THE CONTRACTOR IS ADVISED TO CONTACT EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION TO IDENTIFY AND COORDINATE ANY SCHEDULING REQUIREMENTS.
- d. SHOULD IT BE REQUIRED TO EXCAVATE ONE OR MORE TRENCHES IN EXISTING ROADWAYS, BACKFILLING AND PAVEMENT REPLACEMENT/REPAIR SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MUNICIPALITY OR COUNTY, AS APPLICABLE, VERIFICATION OF BACKFILL REQUIREMENTS SHALL BE MADE PRIOR TO BID.
- . THE OWNER SHALL PROVIDE A COPY OF ALL PERMITS AND APPROVALS ISSUED FOR THE PROJECT TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND COMPLYING WITH THE TERMS AND CONDITIONS OF ALL PERMITS, APPROVALS AND AUTHORIZATIONS ISSUED BY THE VARIOUS REGULATORY AUTHORITIES FOR THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONFIRMING WITH THE ENGINEER THAT THE PERMITS AND PROVALS PROVIDED BY THE OWNER IS COMPLETE. RESPONSIBILITY FOR ANY ADDITIONAL PERMITS R ING BUILDING PERMITS FOR RETAINING WALLS AND ROAD OPENING PERMITS SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND OWNER.
- 0.PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION ACTIVITY, THE CONTRACTOR SHALL COMPLETE THE FOLLOWING:
- VERIFY THE PLANS CONTAIN THE RAISED SEAL OF THE ENGINEER AND DISPLAY THE LATEST REVISION AS "ISSUED FOR CONSTRUCTION." THE USE OF ANY OTHER PLANS IS AT THE CONTRACTOR'S RISK. • VERIFY THE INFORMATION SHOWN ON THESE PLANS IS CONSISTENT WITH THE INFORMATION SHOWN ON ALL OTHER PLANS (ARCHITECTURAL, LANDSCAPING, ETC.) BEING USED FOR CONSTRUCTION OF THE PROJECT. ALSO, VERIFY THE PLANS ARE CONSISTENT WITH ALL CONDITIONS AND REQUIREMENTS SET FORTH IN THE PERMITS. REPORT ANY DISCREPANCIES/INCONSISTENCIES TO THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
- DETERMINE ALL APPLICABLE SPECIFICATIONS AS WELL AS ALL REQUIREMENTS FOR SHOP DRAWINGS. INSPECTIONS AND TESTING APPLICABLE TO PROJECT BY CONTACTING THE LOCAL BUILDING OFFICIAL MUNICIPAL ENGINEER AND EACH AFFECTED UTILITY COMPANY (OR AGENCY). IN THE EVENT OF A CONFLICT BETWEEN ANY SPECIFICATIONS AND THE INFORMATION SHOWN ON THESE PLANS, THE DESIGN ENGINEER AND THE OWNER SHALL BE NOTIFIED IN ORDER TO RESOLVE THE CONFLICT PRIOR TO ANY CONSTRUCTION
- CONTACT THE LOCAL POLICE DEPARTMENT RELEVANT TO ANY WORK TO BE PERFORMED IN OR NEAR PUBLIC STREETS, AS WELL AS INGRESS AND EGRESS REQUIREMENTS DURING CONSTRUCTION. TRAFFIC CONTROL REQUIREMENTS SHALL BE ESTABLISHED BETWEEN THE CONTRACTOR AND POLICE DEPARTMENT AT THIS TIME
- 1.RELEVANT DOCUMENTATION PERTAINING TO ANY PRODUCT PROPOSED BY THE CONTRACTOR ON THE BASIS OF AN "APPROVED EQUAL" SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER AND THE DESIGN ENGINEER AT LEAST TWO WEEKS IN ADVANCE OF ORDERING PRODUCT. THE PRODUCT MUST BE APPROVED FOR INCORPORATION INTO THE PROJECT BY BOTH THE MUNICIPAL ENGINEER AND THE DESIGN ENGINEER 12. ALL CONFIRMATIONS/VERIFICATIONS BETWEEN THE CONTRACTOR, OWNER AND/OR ENGINEER SHALL BE VIA EMAIL OR OTHER WRITTEN FORM(S) OF COMMUNICATION
- 13.CONTRACTOR TO CALL THE NEW JERSEY ONE CALL SYSTEM (800-272-1000) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY SITE DISTURBANCE
- 14. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE DESIGN ENGINEER WITH A LIST OF ALL SHOP DRAWINGS, INSPECTIONS, TESTING, CERTIFICATIONS, AS-BUILT PLANS AND SIMILAR POST-CONSTRUCTION APPROVAL REQUIREMENTS PERTAINING TO THE PROJECT. THE LIST SHALL ALSO IDENTIFY THE SPECIFIC INDIVIDUAL RESPONSIBLE FOR PERFORMING EACH TEST AND/OR PROVIDING EACH CERTIFICATION AND/OR AS-BUILT MAP. IN PARTICULAR. SHOULD NJDEP PERMITS APPLY TO ANY UTILITY CONSTRUCTION AND SHOULD THE PERMIT REQUIRE A CERTIFICATION OF THE WORK UPON COMPLETION, THE CONTRACTOR SHALL DETERMINE THE INDIVIDUAL RESPONSIBLE FOR PROVIDING THE CERTIFICATION. THE CONTRACTOR SHALL THEN BE RESPONSIBLE FOR COORDINATING WITH EACH INDIVIDUAL IDENTIFIED ON THE LIST AND SCHEDULING HIS WORK TO ASSURE EACH INDIVIDUAL HAS SUFFICIENT OPPORTUNITY TO CONDUCT THE REQUIRED TESTS, OBTAIN REQUIRED MEASUREMENTS AND/OR PERFORM ANY SERVICES OR WORK REQUIRED TO PREPARE THE REQUIRED POST-CONSTRUCTION APPROVAL DOCUMENTS.
- 5. CONTRACTOR TO COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND/OR PUBLIC AGENCIES PROVIDING UTILITY SERVICE, AS APPLICABLE, AND ABIDE BY ALL OF THEIR REQUIREMENTS RELEVANT TO THE PERFORMANCE AND INSPECTION OF ALL WORK AFFECTING THEIR UTILITIES, INCLUDING COMPLYING WITH ANY AND ALL TESTING REQUIREMENTS. IN THE EVENT REQUIREMENTS OR SPECIFICATIONS OF THE UTILITY COMPANY OR PUBLIC AUTHORITY CONFLICT WITH THE PLANS, THE MUNICIPAL REQUIREMENTS SHALL GOVERN. IN SUCH CASE, THE CONTRACTOR SHALL ADVISE THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH ANY WORK. .6.PRIOR TO ANY CONSTRUCTION, THE HORIZONTAL LIMITS OF THE WORK (LIMITS OF DISTURBANCE - LOD) SHALL BE ESTABLISHED AND SILT FENCE IS BE INSTALLED. DISTURBANCE BEYOND THESE PERMITTED LIMITS EXPOSES THE
- CONTRACTOR TO FINES AND PENALTIES BY REGULATORY AGENCIES
- 7.SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH THE LOCAL SOIL CONSERVATION DISTRICT'S REQUIREMENTS. AS NOTED ON THE PLAN, THE LIMIT OF DISTURBANCE IS OVER 5,000 SQUARE FEET THEREFORE SESC CERTIFICATION IS REQUIRED. CONTRACTOR TO NOTIFY THE APPLICABLE SOIL CONSERVATION DISTRICT IN WRITING AT LEAST 72 HOURS PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION ACTIVITIES.
- 18.CONTRACTOR IS RESPONSIBLE FOR THEIR OWN VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION, SHOULD THERE BE ANY SUSPECTED DISCREPANCIES WITH THE TOPOGRAPHY DEPICTED ON THE PLANS AND ACTUAL PHYSICAL CONDITIONS. ANY CONFIRMED DISCREPANCY IDENTIFIED BY THE CONTRACTOR'S VERIFICATION SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION PRIOR TO ANY SITE DISTURBANCE. ONCE ANY SITE DISTURBANCE OCCURS, THE CONTRACTOR SHALL HAVE NO CLAIM FOR EXTRA WORK BASED UPON SUSPECTED OR CONFIRMED TOPOGRAPHIC DISCREPANCIES.
- 19. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SITE SAFETY AND FOR DETERMINING THE MEANS AND METHODS FOR ALL CONSTRUCTION ACTIVITIES. ALL SAFETY PRECAUTIONS MUST BE UNDERTAKEN AND MAINTAINED AS REQUIRED BY LOCAL. STATE AND FEDERAL CODES.
- 20.CONTRACTOR TO COMPLY WITH THE TRAFFIC CONTROL PLAN, IF PROVIDED. IF A TRAFFIC CONTROL PLAN IS NOT PROVIDED, THE CONTRACTOR SHALL DETERMINE AND COMPLY WITH ANY AND ALL TRAFFIC CONTROL REQUIREMENTS OF THE LOCAL POLICE DEPARTMENT AND ANY PUBLIC AGENCY HAVING JURISDICTION RELEVANT TO ANY CONSTRUCTION IN OR NEAR PUBLIC STREETS AS WELL AS FOR INGRESS AND EGRESS DURING CONSTRUCTION. 21. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL MEASURES AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND SAFETY OF THE PUBLIC. ALL
- SUCH TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN SATISFACTORY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. 22. THE PROPOSED IMPROVEMENTS HAVE BEEN DESIGNED WITH THE INTENT TO COMPLY WITH ALL APPLICABLE REQUIREMENTS FOR BARRIER FREE ACCESS, INCLUDING THE SATISFYING OF ALL REQUIREMENTS OF THE NEW JERSEY INTERNATIONAL BUILDING CODE, CHAPTER 11, AS WELL AS THE AMERICANS WITH DISABILITIES ACT (ADA). IN GENERAL, BARRIER FREE ACCESS FOR SITE CONSTRUCTION IS TO BE PROVIDED (BETWEEN ALL PARKING SPACES
- DESIGNATED AS ADA AND THE FRONT DOOR OF ADJACENT BUILDINGS). HOWEVER, PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE ROUTES REQUIRED TO BE BARRIER FREE WITH THE LOCAL BUILDING CODE OFFICIAL. SHOULD ANY IDENTIFIED ROUTES CONFLICT WITH THE GRADING SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER FOR RESOLUTION PRIOR TO ANY CONSTRUCTION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETED CONSTRUCTION ALONG BARRIER FREE ROUTES COMPLYING WITH ALL APPLICABLE REQUIREMENTS OF NJIBC CHAP 11, WHETHER SPECIFICALLY STATED ON THE PLANS OR NOT. IN PARTICULAR, THE FOLLOWING REQUIREMENTS ARE NOTED:
- A. SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT ACCESS AISLES SHALL NOT EXCEED TWO PERCENT (2.0%) IN ANY DIRECTION. B. SLOPES FOR CURB RAMPS SHALL NOT EXCEED 1:12 (8.3%)
- THE EXTERIOR SIDE OF ALL DOORWAYS AND BOTH SIDES OF ACCESSIBLE GATES SHALL HAVE A LANDING SLOPED FOR POSITIVE DRAINAGE AT TWO PERCENT (2.0%) MAX. FOR DOORS & GATES WITH A STRAIGHT APPROACH SIDEWALK. THE LANDING SHALL BE A MINIMUM OF 5' LONG BEFORE BREAKING GRADE TO A SLOPED SIDEWALK. THE WIDTH SHALL BE AS SHOWN ON THE PLANS. IF THERE IS A DISCREPANCY BETWEEN ARCHITECTURAL PLANS AND SITE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER FOR RESOLUTION OF THE DISCREPANCY PRIOR TO ANY CONSTRUCTION FOR THE LANDING OR ASSOCIATED WALKWAY. NOTE THAT THE WIDTH IS NOT NECESSARILY CENTERED ON THE DOOR OR GATE, AS MINIMUM CLEARANCES ARE REQUIRED ON THE HANDLE SIDE (OPPOSITE THE HINGE SIDE). EACH BARRIER FREE ROUTE SHALL PROVIDE FOR A MINIMUM FOUR FOOT UNOBSTRUCTED (CAR OVERHANGS AT CURBS MUST BE CONSIDERED) WIDTH WITH A LONGITUDINAL (DIRECTION OF ROUTE) SLOPE NO GREATER THAN 1:20 (5%). CROSS SLOPE SHALL NOT EXCEED TWO PERCENT (2.0%). IN TURNING AREAS, CROSS SLOPE MUST BE LESS THAN 2.0 % IN ALL DIRECTIONS. WHERE SHOWN ON THE PLANS AND/OR WHERE THE GRADING ALONG THE PATH OF TRAVEL EXCEEDS 5%, A RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%) SHALL BE CONSTRUCTED, HAVING A MAXIMUM RISE OF 30 INCHES. HAND RAILS COMPLYING WITH NJIBC CHAP 11 REQUIREMENTS SHALL BE INSTALLED FOR ALL SUCH RAMPS, EXCEPT CURB RAMPS AT PAVEMENT EDGES. 109 REFER TO THE DETAIL SHEETS FOR LANDINGS AT CURB RAMPS. ALL OTHER RAMPS SHALL BE PROVIDED WITH LANDINGS AT EACH END AND EACH LANDING SHALL BE AT LEAST FIVE FEET LONG WITH A WIDTH MATCHING THE WIDTH OF THE RAMP. LANDINGS SHALL SLOPE NO MORE THAN TWO PERCENT (2.0%) IN ANY DIRECTION.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING ALL CONSTRUCTION ALONG BARRIER FREE ROUTES COMPLIES WITH ALL REQUIREMENTS. PRIOR TO THE ACTUAL POURING OF CONCRETE ALONG BARRIER FREE ROUTES, THE CONTRACTOR SHALL CHECK ALL FORMWORK TO VERIFY COMPLIANCE WITH THE APPLICABLE BARRIER FREE REQUIREMENTS AND REQUEST CONFIRMATION OF SAME BY THE INSPECTING AUTHORITY. 25.DEVIATIONS FORM THE PLAN MUST BE APPROVED BY THE TOWNSHIP ENGINEER IN WRITING PRIOR TO THE CHANGE. ANY DEVIATIONS WITHOUT PRIOR APPROVAL WILL RENDER THE PERMIT NULL AND VOID.
- 26.ANY DAMAGE TO THE PUBLIC ROAD SHALL BE REPAIRED BY THE CONTRACTOR AT THE DIRECTION OF THE REVIEWING AUTHORITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 27. THE PROJECT DOES NOT PROPOSE ANY EXPORTATION OF SOIL. EXPORTED SOIL (IF ANY) SHALL BE SUBJECT TO CADB/SADC APPROVAL AND SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL REQUIREMENTS. ANY SOIL TO BE IMPORTED SHALL BE CERTIFIED CLEAN, AND DOCUMENTATION SHALL BE SUBMITTED TO THE REVIEWING AUTHORITY PRIOR TO IMPORT.

- 29. THE CONTRACTOR SHALL NOTIFY THE REVIEWING AUTHORITY FOR THE FOLLOWING INSPECTIONS 72 HOURS IN ADVANCE:
- 1) SILT FENCE INSTALLATION PRIOR TO SOIL DISTURBANCE 2) DRYWELL/STORMWATER SYSTEM EXCAVATION PRIOR TO INSTALLATION OF MATERIALS
- 3) DRYWELL TANK/STORMWATER SYSTEM, STONE, AND LEADER DRAIN PIPING PRIOR TO BACKFILLING
- 4) PRIOR TO REMOVAL OF SOIL EROSION AND SEDIMENT CONTROL MEASURES 5) OTHER INSPECTIONS WHICH MAY BE SPECIFIED AT THE TIME OF CONSTRUCTION



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ZONING TABLE			
SLOCK 109, LOT 23 (32 IRONIA ROAD)			
OWNSHIP OF MENDHAM, MORRIS COUNTY, NEW J	ERSEY		
UT AREA = 1,632,600± SF (37.49± ACRES)			
ROPOSED IMPROVEMENTS: CONVERSION OF EXIST	ING BARN TO FARM BASED BREWERY		
AND USE ORDINANCE OF TOWNSHIP OF MENDHA	M REQUIREMENTS		
ULK REQUIREMENTS	PERMITTED	EXISTING	PROPOSED
/inimum Lot Area	10 Acres	37.49± Acres	NO CHANGE
Ainimum Net Building Area Envelope	140,000 S.F.	> 140,000 S.F.	NO CHANGE
Ainimum Lot Frontage	100 Ft.	1,247 Ft.	NO CHANGE
Ainimum Diameter Lot Geometry Circle (LGC)	400 Ft.	> 400 Ft.	NO CHANGE
Ainimum Diameter Building Envelope Circle (BEC)	240 Ft.	> 240 Ft.	NO CHANGE
Ainimum Principal Building Front Yard Setback	100 Ft.	14.7 Ft. (Existing single-family dwelling) - <b>Pre-existing nonconforming</b> 78.5 Ft. (Existing farm store) - <b>Pre-existing nonconforming</b> 158.5 Ft. (Existing barn/proposed brewery)	NO CHANGE
Ainimum Principal Building Side Yard Setback	80 Ft.	337.9 Ft. (Existing single-family dwelling) 376.0 Ft. (Existing farm store) 299.5 Ft. (Existing barn/proposed brewery)	NO CHANGE
Ainimum Principal Building Rear Yard Setback	100 Ft.	492 Ft. (Existing barn/proposed brewery)	NO CHANGE
Aaximum Principal Building Height	35 Ft.	30.1 Ft. Building Height Calculation Existing finished floor to highest point of roof is 28.5 feet (see architectural plans). The existing average elevation of finished grade to the finished floor is 1.6 feet. Building height = 28.5' + 1.6' = 30.1'	31.3 Ft. Building Height Calculation Proposed finished floor to highest point of roof is 29.5 feet (see architectural plans). The proposed average elevation of finished grade to the finished floor is 1.8 feet. Building height = 29.5' + 1.8' = 31.3'
Naximum Permitted Floor Area	66,333 S.F. Formula: 2,600 S.F. + (1,700 S.F. x 37.49)	< 66,333 S.F.	NO CHANGE
Aaximum Building Coverage	N/A	1.15%	1.16%
Aaximum Impervious Coverage	N/A	2.8%	3.2%
		Required Parking	Provided Parking
xisting dwelling unit (3 Bedroom) at 2 spaces per 3-	bedroom dwelling per RSIS	2 Spaces	
arm Employees at 1 space per employee: 3 employe	ees	3 Spaces	
tore at 1 Space per 100 S.F. of Total Floor Area: 481	. S.F. / 100 = 5 Spaces	5 Spaces	
Proposed Brewery Service Area at 1 spaces per 100 S 0.093 SF / 100 = 31 Spaces	S.F. of Total Floor Area:	31 Spaces	
,,,,,	TOTAL	41 Spaces	47 Spaces
	ADE ADDUCADUE TO THE SITE DUAN	ICTIVITIES, AND EVENTS [N.J.A.C. 2:76-2A.13]	
			PROPOSED
ighting	Lighting shall be provided, at a minimum, the a designed to minimize light spilling off the site a structure of the site of th	amount of light necessary for customer safety. Lighting shall be and to minimize impacts on adjacent off-farm residential buildings and	COMPLIES
usiness Sign - Setback	The sign is set back at least 10 feet from the p	aved portion of the street right of way	COMPLIES
Business Sign - Area	The maximum size (meaning the physical size square feet	of the sign and not the combined square footage of both sides) is 32	COMPLIES
Business Sign - Height	The maximum height to the top of the sign do	es not exceed 15 feet from the ground	COMPLIES
larking	Safe, off-road parking shall be provided. Parki spaces provided shall be sufficient to accomm farm's on-farm direct marketing facilities, activ	ng shall not be located in a road right of way, and the number of odate the normal or anticipated traffic volume for the commercial vities, and events.	COMPLIES
arking Surface	The types of surfaces and any physical improv not involve greater than the minimum level of	ements associated with areas permanently devoted to parking need improvements necessary to protect public health and safety.	COMPLIES
ocation of new or expanded facilities' permanent tructures for on-farm direct marketing facilities	1) A 50-foot front-yard setback from the paver 2) A 50-foot side-yard setback from the proper 3) A 50-foot rear-yard setback from the prope	d portion of the road right of way rty line rty line	COMPLIES
ocation of new or expanded areas permanently levoted to parking for on-farm direct marketing acilities	1) A 25-foot front-yard setback from the paver 2) A 50-foot side-yard setback from the proper 3) A 50-foot rear-yard setback from the prope	d portion of the road right of way rty line rty line	COMPLIES
raffic Management	Provide safe ingress and egress, vehicular traff	COMPLIES	
DESIGN STANDARDS FOR SITE PLANS RELATED TO C	OFF-STREET PARKING (SECTION 16-10.3c OF TO	WNSHIP ORDINANCE)	
IOTE: NJAC 2:76-2A.13 (h) APPLIES IN THE ABSENCE VITH PARKING STANDARDS IN NJAC 2:76-2A.13 (h) (	OF MUNICIPAL STANDARDS FOR THE CONSTRU OF AMP.	ICTION OF PARKING AREAS APPLICABLE TO ON-FARM DIRECT MARKETIN	IG FACILITIES. SEE ABOVE FOR COMPLIANCE
EQUIREMENTS	PERMITTED		PROPOSED
ECTION 16-10.3c1	Off-street parking areas and access drives shal	I be improved per Township pavement specifications	Off-street parking areas and access drives are proposed on pavement and gravel areas
ECTION 16-10.3c4	Entrance or exit driveways connecting the par	king area and street shall not exceed 22 feet in width.	Proposed driveways are 24 feet wide.
ECTION 16-10.3c7	Parking areas shall be screened from the resid	ential property to the east on the other side of Ironia Road.	Some portions of the parking areas are not
ECTION 16-10 2c13	Each parking space for off-street parking shall	be rectangular with an area of not less than 180 square feet, minimum	proposed to be screened. Proposed parking spaces are 162 square feet
ECTION 16-10.3c14	of 9 feet in width and a minimum depth of 20 There shall be a designated loading space.	feet.	(9 feet wide by 18 feet deep). No designated loading space is proposed and loading will take place off-hours within the
			parking lot.

ONING TABLE				
	FRSEV			
OT AREA = 1.632.600± SF (37.49± Acres)				
ONE: R-10 (SINGLE-FAMILY RESIDENTIAL DISTRICT)				
KISTING & PROPOSED USE: AGRICULTURE				
ROPOSED IMPROVEMENTS: CONVERSION OF EXIST	ING BARN TO FARM BASED BREWERY			
		EXISTING	PROPOSED	
		37 49+ Arres		
linimum Net Building Area Envelope	140.000 S.F.	> 140.000 S.F.	NO CHANGE	
linimum Lot Frontage	100 Ft	1.247 Ft.	NO CHANGE	
linimum Diameter Lot Geometry Circle (LGC)	400 Ft.	>400 Ft.	NO CHANGE	
linimum Diameter Building Envelope Circle (BEC)	240 Ft.	NO CHANGE		
linimum Principal Building Front Yard Setback	100 Ft.     72.5 Ft. (Existing single-family dwelling) - Pre-existing nonconforming 78.5 Ft. (Existing farm store) - Pre-existing nonconforming		NO CHANGE	
linimum Principal Building Side Yard Setback	80 Ft.	158.5 Ft. (Existing barn/proposed brewery) 337.9 Ft. (Existing single-family dwelling) 376.0 Ft. (Existing farm store)	NO CHANGE	
linimum Dringing Duilding Door Vard Sothack	100 5	299.5 Ft. (Existing barn/proposed brewery)		
inninum Principal Building Kear Yard Setback	100 Ft.	30.1 Ft	31.3 Ft.	
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laximum Permitted Floor Area	66,333 S.F. Formula: 2,600 S.F. + (1,700 S.F. x 37.49)	< 66,333 S.F.	NO CHANGE	
laximum Building Coverage	N/A	1.15%	1.16%	
laximum Impervious Coverage	N/A	2.8%	3.2%	
ARKING REOLUREMENTS				
ses		Required Parking	Provided Parking	
kisting dwelling unit (3 Bedroom) at 2 spaces per 3-	bedroom dwelling per RSIS	2 Spaces		
arm Employees at 1 space per employee: 3 employe	ees	3 Spaces		
tore at 1 Space per 100 S.F. of Total Floor Area: 481	. S.F. / 100 = 5 Spaces	5 Spaces		
roposed Brewery Service Area at 1 spaces per 100 S 093 SF / 100 = 31 Spaces	5.F. of Total Floor Area:	31 Spaces		
	TOTAL	41 Spaces	47 Spaces	
GRICULTURAL MANAGEMENT PRACTICE (AMP) FC	DR ON-FARM DIRECT MARKETING FACILITIES, A	CTIVITIES, AND EVENTS [N.J.A.C. 2:76-2A.13]		
ELOW ARE THE REQUIREMENTS IN THE AMP THAT A	ARE APPLICABLE TO THE SITE PLAN:			
EQUIREMENTS	PERMITTED		PROPOSED	
ghting	Lighting shall be provided, at a minimum, the designed to minimize light spilling off the site streets	amount of light necessary for customer safety. Lighting shall be and to minimize impacts on adjacent off-farm residential buildings and	COMPLIES	
usiness Sign - Setback	The sign is set back at least 10 feet from the p	aved portion of the street right of way	COMPLIES	
usiness Sign - Area	The maximum size (meaning the physical size square feet	of the sign and not the combined square footage of both sides) is 32	COMPLIES	
usiness Sign - Height	The maximum height to the top of the sign do	es not exceed 15 feet from the ground	COMPLIES	
arking	Safe, off-road parking shall be provided. Parki spaces provided shall be sufficient to accomm farm's on-farm direct marketing facilities, activ	ng shall not be located in a road right of way, and the number of odate the normal or anticipated traffic volume for the commercial vities, and events.	COMPLIES	
arking Surface	The types of surfaces and any physical improv not involve greater than the minimum level of	COMPLIES		
ocation of new or expanded facilities' permanent ructures for on-farm direct marketing facilities	1) A 50-foot front-yard setback from the pave 2) A 50-foot side-yard setback from the prope 3) A 50-foot rear-yard setback from the prope	<ol> <li>A 50-foot front-yard setback from the paved portion of the road right of way</li> <li>A 50-foot side-yard setback from the property line</li> <li>A 50-foot rear-yard setback from the property line</li> </ol>		
ocation of new or expanded areas permanently evoted to parking for on-farm direct marketing scilities	1) A 25-foot front-yard setback from the pave 2) A 50-foot side-yard setback from the prope 3) A 50-foot rear-yard setback from the prope	d portion of the road right of way rty line rty line	COMPLIES	
raffic Management	Provide safe ingress and egress, vehicular traff	COMPLIES		
OTE: NJAC 2:76-2A.13 (h) APPLIES IN THE ABSENCE	OF MUNICIPAL STANDARDS FOR THE CONSTRU	ICTION OF PARKING AREAS APPLICABLE TO ON-FARM DIRECT MARKETIN	IG FACILITIES. SEE ABOVE FOR COMPLIANCE	
/ITH PARKING STANDARDS IN NJAC 2:76-2A.13 (h) ( EQUIREMENTS	OF AMP. PERMITTED		PROPOSED	
ECTION 16-10.3c1	Off-street parking areas and access drives sha	I be improved per Township pavement specifications	Off-street parking areas and access drives are proposed on pavement and gravel areas.	
ECTION 16-10.3c4	Entrance or exit driveways connecting the par	king area and street shall not exceed 22 feet in width.	Proposed driveways are 24 feet wide.	
ECTION 16-10.3c7	Parking areas shall be screened from the resid	ential property to the east on the other side of Ironia Road.	Some portions of the parking areas are not proposed to be screened.	
ECTION 16-10.3c13	Each parking space for off-street parking shall of 9 feet in width and a minimum depth of 20	be rectangular with an area of not less than 180 square feet, minimum feet.	Proposed parking spaces are 162 square feet (9 feet wide by 18 feet deep).	
ECTION 16-10.3c14	There shall be a designated loading space.		No designated loading space is proposed and loading will take place off-hours within the parking lot.	

TOTAL LOT AREA (SF)	1,632,600						
Existing Covera	ges		Proposed Coverages				
Description	Area (SF)	Percentage	Description	Area (SF)	Percentage		
Dwelling	1,234		Dwelling	1,234			
Store	963		Store	963			
Main Barn	4,376		Brewery	4,528			
Temporary Greenhouse	2,970		Temporary Greenhouse	2,970			
Creamery	507		Creamery	507			
Horse Barn	2,681		Horse Barn	2,681			
Machine Storage	830		Machine Storage	830			
Chicken House	955		Chicken House	955			
Vegetable Greenhouse	2,935		Vegetable Greenhouse	2,935			
Misc. Sheds	1,324		Misc. Sheds	1,324			
Total Building Coverage	18,775	1.15%	Total Building Coverage	18,927	1.16%		
Gravel, Pavement, and Concrete Areas	26,913		Gravel, Pavement, Concrete Areas and Deck/Covered Patio for Brewery	33,229			
Total Impervious Lot Coverage	45,688	2.8%	Total Impervious Lot Coverage	52,156	3.2%		
			Increase in Impervious Coverage	6,468	0.15		
Note: Sand areas are not considered an i	mpervious surf	ace.					

# **OWNER/APPLICANT:**

**BF PARTNERS, LLC** 8 SUNSET DRÍVE RANDOLPH, NJ 07869 (973) 432-6076

### EXISTING AND PROPOSED COVERAGES

THESE PLANS ARE NOT TO BE U FOR BID OR CONSTRUCTION

SEE SHEET 1 OF THIS SET FOR **GENERAL NOTES AND REFERENCES** 

J. N						
SEC				8	1/03/22 RI	EVISED PER NEW PARKING LAYOUT
)				7 0	7/13/22 RI	EVISED PER TOWNSHIP ENGINEER STORMWATER MANAGEMENT COMMENTS
Sł	고 D D D D D D D D D D D D D D D D D D D		MICHAFI I ROTH	9 0	1/24/22 RI	EVISED PER LABEL OF EXISTING PARKING AREAS AND LAYOUT CHANGES
HEET	PROPOSED FARM BASED BREWERY AT BACKER FARM	ROTH		5 0	1/05/22 RI	VISED PER SSAMP REVIEW CHECKLIST COMMENTS IN MORRIS CADB 01/06/22 MEMORANDUM.
NO	03/			4 0	8/27/21 RI	:VISED PER BOARD PLANNER 06/29/21 & BOARD ENGINEER 06/28/21 REVIEW LETTERS
.:				с С	6/16/21 RI	VISED PER 06/15/21 SITE MEETING WITH FIRE DEPARTMENT & 05/14/21 EMAIL COMMENTS.
		NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28309800	PROFESSIONAL ENGINEER	2 0	5/11/21 RI	EVISED PER BOARD ENGINEER 05/11/21 EMAIL COMMENTS
		ROTH ENGINEERING, LLC 52 QUAIL RUN, LONG VALLEY, NJ 07853	NEW JERSEY LICENSE NO. 24GE05262600	1	5/03/21 R	EVISED PER TOWNSHIP COMPLETENESS REVIEW #1 DATED 04/22/21
	TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY	PHONE: 973-715-7427 EMAIL: MIKE@ROTHENGINEERS.COM	ALL RIGHTS RESERVED. COPY, REPRODUCTION OR DISTRIBUTION OF THIS PLAN OR ANY PORTION IS PROHIBITED WITHOUT WRITTEN PERMISSION OF ROTH ENGINEERING, LLC.	REV #	DATE R	EVISION

L OF X



			STEEP SI (		)				AORANDUM W LETTERS	
	SLOPE LEGEND	SLOPE CATEGORIES	TOTAL SLOPE AREA ON PROPERTY	AREA TO BE DISTURBED	% OF SLOPE AREA DISTURBED	AREA OF MAX DISTURBANCE PERMITTED		IANGES	06/22 MEN /21 REVIE	2/21
		0-10%	1,368,439 SF	39,732 SF	2.9% - COMPLIES	1,368,439 SF (100% - any area necessary for driveway, landscaping or impervious coverage)		D LAYOUT CH	RRIS CADB 01/ GINEER 06/28	/MENTS DATED 04/2:
		10-14.99%	130,537 SF	1,308 SF	1.0% - COMPLIES	32,634 SF (25% of slope area)		REAS AN	UTS IN MO	AAIL CON VIEW #1
		15-24.99%	109,561 SF	321 SF	0.3% - COMPLIES	16,434 SF (15% of slope area)		RKING A	COMMEN 9/21 & B(	11/21 EN ENESS RE
		> 25%	24,063 SF	235 SF	1.0% - COMPLIES	1,203 SF (5% of slope area)		TING PA	HECKLIST ER 06/29	EER 05/
		TOTAL	1,632,600 ± SF	41,596 SF				OF EXIS	keview cł	D ENGIN
Map Un	nit Symbol		Soil Ma Map U	ap Legend nit Name		Hydrologic	Soil Group	ER LABEL	ssamp f samp f samp	ER BOAR
B	adB BacC	Bart	Bartley loam, 3 t ley gravelly loam	to 8 percent slope 1, 8 to 15 percent	es slopes	C		ISED PI	ISED PEF	'ISED PI
Ho	cuAt	Hatboro-Codoru T	s complex, 0 to 3 urbotville loam.	percent slopes, f	frequently floode	d B/I C	)	2 REV	2 REV 1 REV	1 REV
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TION SPTIC SAND SOROUGH OF MENDHAN WWSHIP OF MENDHAN 1' N: 708,809.3 E: 457,727.10	n 5							ROTH	<b>ENGINEERIN</b>	CATE OF AUTHORIZATION NO. 24GA28309800 NEERING, LLC UN, LONG VALLEY, NJ 07853
TION SPTIC SAND TOROUGH OF MENDHAN WWSHIP OF MENDHAN 1' N: 708,809.3 E: 457,727.10								S) ROTH	ENGINEERIN	ERTIFICATE OF AUTHORIZATION NO. 24GA28309800 H ENGINEERING, LLC UAIL RUN, LONG VALLEY, NJ 07853 VE: 973-715-7427
30ROUGH OF MENDHAN MNSHIP OF MENDHAN 1' N: 708,809.5 E: 457,727.10								ROTH	ENGINEERIN	NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28309800 ROTH ENGINEERING, LLC 52 QUAIL RUN, LONG VALLEY, NJ 07853 PHONE: 973-715-7427
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30ROUGH OF MENDHAD MNSHIP OF MENDHAD 1 N: 708,809.31 E: 457,727.10								AT BACKER FARM	RAINTS MAD ENGINEERIN	NJ CERTIFICATE OF AUTHORIZATION NO. 24GA28309800 ROTH ENGINEERING, LLC 52 QUAIL RUN, LONG VALLEY, NJ 07853 PHONE: 973-715-7427
ROROUGH OF MENDHAN WINSHIP OF MENDHAN 11 N: 708,809.33 E: 457,727.10								ERY AT BACKER FARM	ENGINEERIN ENGINEERIN	T 23 PHONE: 973-715-7427
AOROUGH OF MENDHAN TON TON TON TON TON TON TON TON TON TO								AJOR SITE PLANS FOR EWERY AT BACKER FARM	ONSTRAINTS MAD SUGINEERIN	<ul> <li>LOT 23</li> <li>LOT 23</li> <li>LOT 23</li> <li>PHONE: 973-715-7427</li> </ul>
30ROUGH OF MENDHAM MNSHIP OF MENDHAM 1' N: 708,809.51 E: 457,727.10								AL MAJOR SITE PLANS FOR BREWERY AT BACKER FARM	CONSTRAINTS MAD ENGINEERIN	109, LOT 23 PHONE: 973-715-7427 PHONE: 973-715-7427
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SOROUGH OF MENDHAM								AINARY & FINAL MAJOR SITE PLANS FOR RM BASED BREWERY AT BACKER FARM	MENTAL CONSTRAINTS MAD STORE ENGINEERIN	BLOCK 109, LOT 23 PHONE: 973-715-7427
ARE FENCE								SELIMINARY & FINAL MAJOR SITE PLANS FOR FARM BASED BREWERY AT BACKER FARM	NIMENTAL CONSTRAINTS MAD	BLOCK 109, LOT 23 PHONE: 973-715-7427
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AOROUGH OF MENDHAL MINISHIP OF MENDHAL N: 708,809.3 E: 457,727.10				THES				THE DEPENDENCE OF THE PLANS FOR THE PLANS FOR THE PROPOSED FARM BASED BREWERY AT BACKER FARM		BLOCK 109, LOT 23 PHONE: 973-715-7427
ROROUGH OF MENDIA MNSHIP OF MENDIA N. 708,809.31 E: 457,727.10		ALE: 1"=80'		THES	E PLANS AR DR BID OR C			C HE PROPOSED FARM BASED BREWERY AT BACKER FARM		BLOCK 109, LOT 23 PHONE: 973-715-7427















**STRIPING** 

N.T.S.







11'-0"

10'-0"

-6" CONC. SLAB-

SLOPE

D. GATE ON STL. FRAME

1.0%

-BOLLARD, TYP OF 5

- 3 1/2"ø SCH. 40 STL. PIPE

SEE ELEV.

\_\_\_\_ 3 1/2"ø SCH. 40 STL. PIPE

N.T.S.

SEE DETAIL

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<u>ay—on Adhesives</u> —On mineral soils (not effective on muck soils). Keep traffic off these areas.									
<u>le 16—1: Dust Control Materials:</u>									
onic asphalt emulsion ex Emulsion in in Water	<u>Water Dilution</u> 7:1 12.5:1 4:1	<u>Type of Nozzle</u> Coarse Spray Fine Spray Fine Spray	<u>Gal./Acre</u> 1,200 235 300						