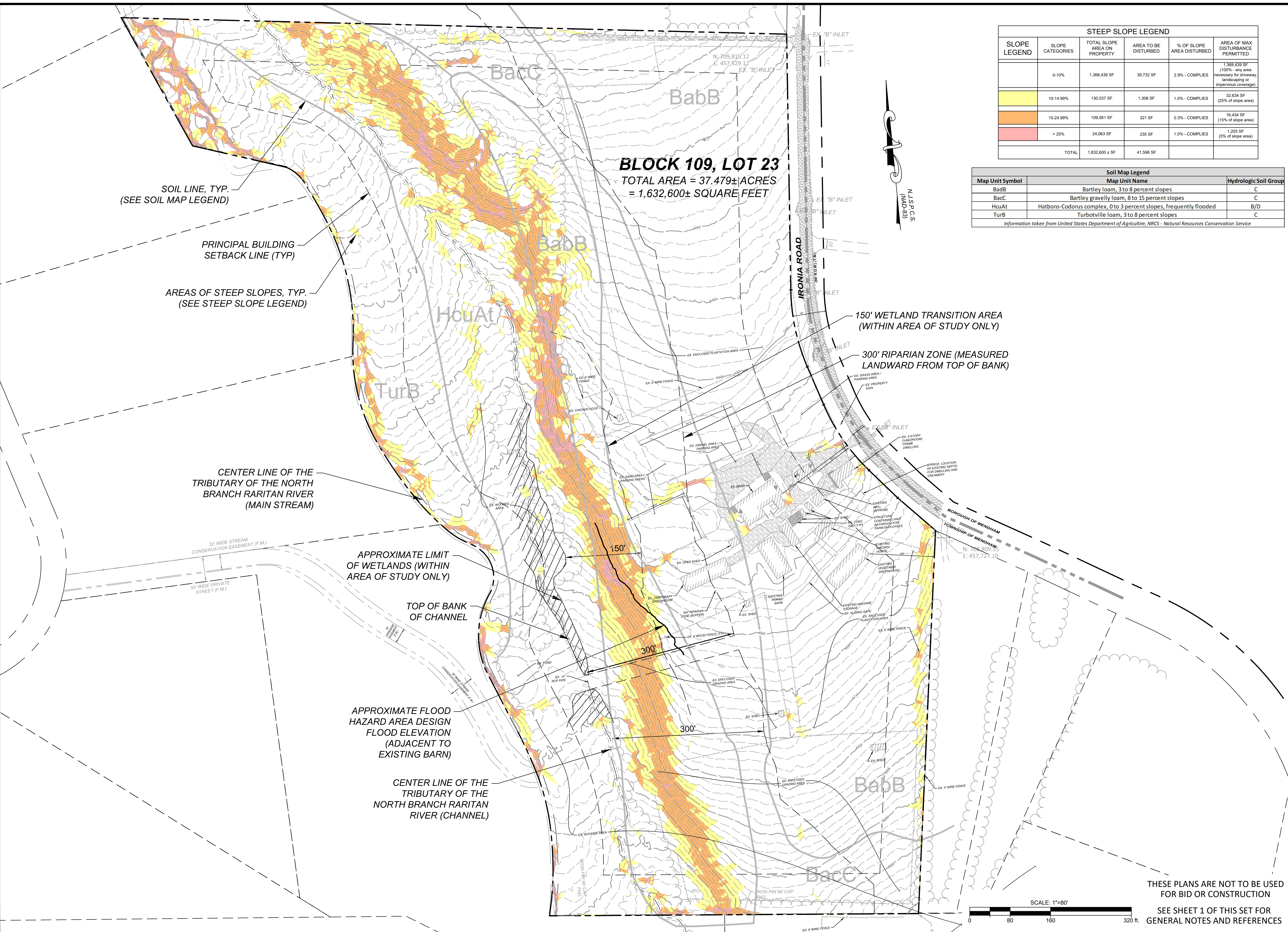




REVISIONS: 01/24/22 01/05/22 08/27/21 05/11/21 05/03/21

Z:\PROJECTS\200901 - Backer Farm Mendham\DWG\2\_Site Plans\200901\_Site\_Hwy\_11\03/22/07/03/25AM\_miker\_LAYOUT\_SHEET 2



**BLOCK 109, LOT 23**  
 TOTAL AREA = 37.479± ACRES  
 = 1,632,600± SQUARE FEET

STEEP SLOPE LEGEND					
SLOPE LEGEND	SLOPE CATEGORIES	TOTAL SLOPE AREA ON PROPERTY	AREA TO BE DISTURBED	% OF SLOPE AREA DISTURBED	AREA OF MAX DISTURBANCE PERMITTED
	0-10%	1,368,439 SF	39,732 SF	2.9% - COMPLIES	1,368,439 SF (100% - any area necessary for driveway, landscaping or impervious coverage)
	10-14.99%	130,537 SF	1,308 SF	1.0% - COMPLIES	32,634 SF (25% of slope area)
	15-24.99%	109,561 SF	321 SF	0.3% - COMPLIES	16,434 SF (15% of slope area)
	> 25%	24,063 SF	235 SF	1.0% - COMPLIES	1,203 SF (5% of slope area)
	TOTAL	1,632,600 ± SF	41,596 SF		

Soil Map Legend		
Map Unit Symbol	Map Unit Name	Hydrologic Soil Group
BabB	Bartley loam, 3 to 8 percent slopes	C
BacC	Bartley gravelly loam, 8 to 15 percent slopes	C
HcuAt	Hatboro-Codorus complex, 0 to 3 percent slopes, frequently flooded	B/D
TurB	Turbotville loam, 3 to 8 percent slopes	C

Information taken from United States Department of Agriculture, NRCS - Natural Resources Conservation Service

REV #	DATE	REVISION
5	01/24/22	REVISED PER LABEL OF EXISTING PARKING AREAS AND LAYOUT CHANGES
4	01/05/22	REVISED PER SHARP REVIEW CHECKLIST COMMENTS IN MORRIS CDS 01/06/22 MEMORANDUM
3	08/27/21	REVISED PER BOARD PLANNER 06/29/21 & BOARD ENGINEER 06/08/21 REVIEW LETTERS
2	05/11/21	REVISED PER BOARD ENGINEER 05/11/21 EMAIL COMMENTS
1	05/03/21	REVISED PER TOWNSHIP COMPLETENESS REVIEW #1 DATED 04/22/21

**MICHAEL J. ROTH**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 24GE05262600  
ALL WORKS PREPARED BY MICHAEL J. ROTH OR UNDER HIS SUPERVISION AND WITHIN THE WRITTEN PERMISSION OF ROTH ENGINEERING, LLC.

**ROTH ENGINEERING**  
 1000 ROUTE 100, SUITE 200  
 52 QUAIL RUN, LONG VALLEY, NJ 07863  
 PHONE: 973-715-7427  
 EMAIL: MIKE@ROTHENGINEERS.COM

PRELIMINARY & FINAL MAJOR SITE PLANS FOR  
 PROPOSED FARM BASED BREWERY AT BACKER FARM  
**ENVIRONMENTAL CONSTRAINTS MAP**

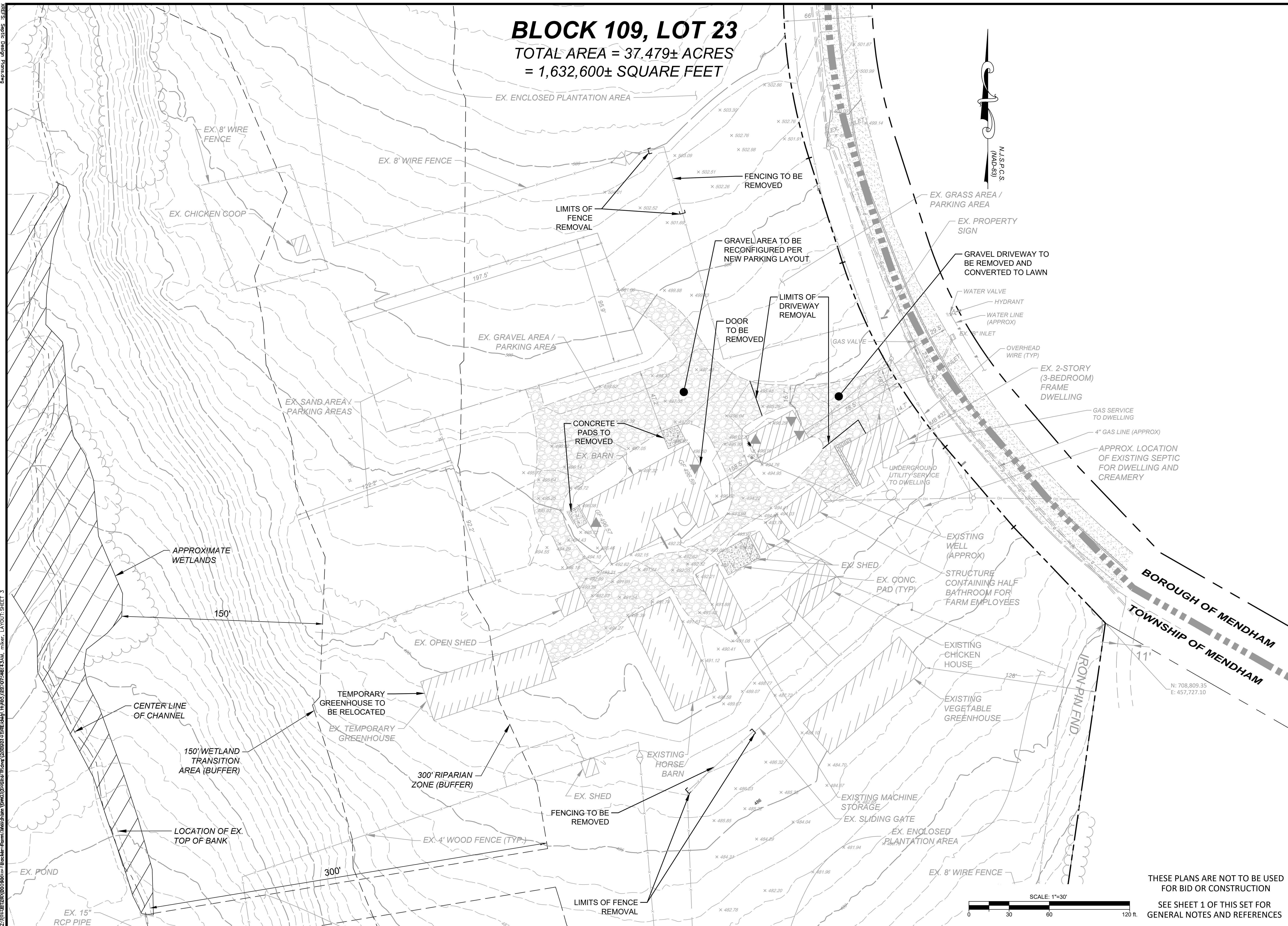
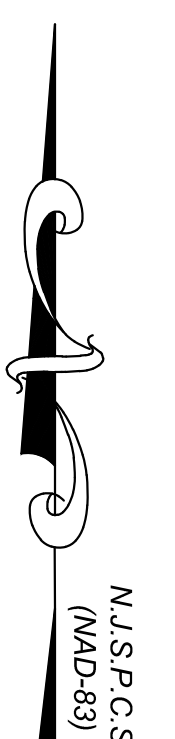
DATE: 03/08/21  
 PROJECT NO.: 200901  
 SHEET NO.: **2 OF 8**

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION  
 SEE SHEET 1 OF THIS SET FOR GENERAL NOTES AND REFERENCES

REVISION: SEE SHEET 1 FOR REVISIONS TO THIS PLAN. DATE: 05/11/21

# BLOCK 109, LOT 23

TOTAL AREA = 37.479± ACRES  
= 1,632,600± SQUARE FEET



Z:\PROJECTS\20090901\1-Farm-Brewery\DWG\100-Block109-Lot23-Prep.dwg, 11/05/2009 10:27:48 AM, mikr, LAYOUT: SHEET 3

4	01/24/21	REVISED PER LABEL OF EXISTING PARKING AREAS AND LAYOUT CHANGES
3	08/17/21	REVISED PER BOARD PLANNER 06/29/21 & BOARD ENGINEER 06/28/21 REVIEW LETTERS
2	05/11/21	REVISED PER BOARD ENGINEER 05/11/21 EMAIL COMMENTS
1	05/03/21	REVISED PER TOWNSHIP COMPLETENESS REVIEW #1 DATED 04/22/21
REV #	DATE	REVISION

**MICHAEL J. ROTH**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 24GE00262600  
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS  
OF THIS PLAN OR ANY PORTION IS PROHIBITED WITHOUT  
WRITTEN PERMISSION OF ROTH ENGINEERING, LLC.

**ROTH ENGINEERING**  
NEW JERSEY LICENSE NO. 24GE00262600  
52 OAK RUN, LONG VALLEY, NJ 07863  
PHONE: 973-715-7427  
EMAIL: MIKE@ROTHENGINEERS.COM

PRELIMINARY & FINAL MAJOR SITE PLANS FOR  
**PROPOSED FARM BASED BREWERY AT BACKER FARM**  
**SITE PREPARATION PLAN**  
BLOCK 109, LOT 23  
TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY

DATE: 03/08/21  
PROJECT NO.: 200901  
SHEET NO.:  
**3 OF 8**

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION  
SEE SHEET 1 OF THIS SET FOR GENERAL NOTES AND REFERENCES



Z:\PROJECTS\2020\08\01\109-23\109-23-01.dwg - 10/03/2020 10:03:56 AM - mikr - LAYOUT: SHEET 5  
Z:\PROJECTS\2020\08\01\109-23\109-23-01.dwg - 10/03/2020 10:03:56 AM - mikr - LAYOUT: SHEET 5  
Z:\PROJECTS\2020\08\01\109-23\109-23-01.dwg - 10/03/2020 10:03:56 AM - mikr - LAYOUT: SHEET 5

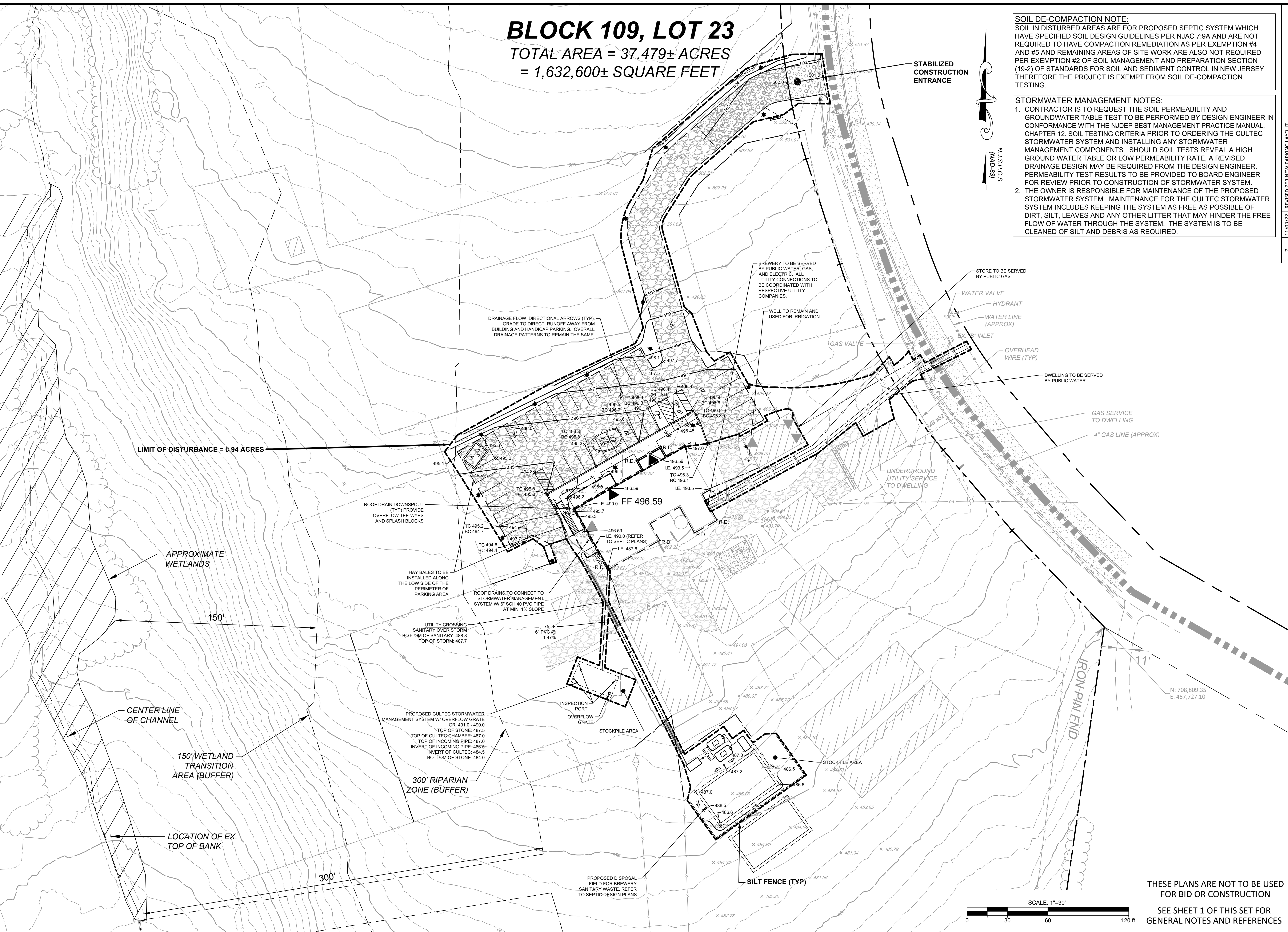
# BLOCK 109, LOT 23

TOTAL AREA = 37.479± ACRES  
= 1,632,600± SQUARE FEET

**SOIL DE-COMPACTION NOTE:**  
SOIL IN DISTURBED AREAS ARE FOR PROPOSED SEPTIC SYSTEM WHICH HAVE SPECIFIED SOIL DESIGN GUIDELINES PER NJAC 7-9A AND ARE NOT REQUIRED TO HAVE COMPACTION REMEDIATION AS PER EXEMPTION #4 AND #5 AND REMAINING AREAS OF SITE WORK ARE ALSO NOT REQUIRED PER EXEMPTION #2 OF SOIL MANAGEMENT AND PREPARATION SECTION (19-2) OF STANDARDS FOR SOIL AND SEDIMENT CONTROL IN NEW JERSEY THEREFORE THE PROJECT IS EXEMPT FROM SOIL DE-COMPACTION TESTING.

**STORMWATER MANAGEMENT NOTES:**  
1. CONTRACTOR IS TO REQUEST THE SOIL PERMEABILITY AND GROUNDWATER TABLE TEST TO BE PERFORMED BY DESIGN ENGINEER IN CONFORMANCE WITH THE NJDEP BEST MANAGEMENT PRACTICE MANUAL, CHAPTER 12: SOIL TESTING CRITERIA PRIOR TO ORDERING THE CULTEC STORMWATER SYSTEM AND INSTALLING ANY STORMWATER MANAGEMENT COMPONENTS. SHOULD SOIL TESTS REVEAL A HIGH GROUND WATER TABLE OR LOW PERMEABILITY RATE, A REVISED DRAINAGE DESIGN MAY BE REQUIRED FROM THE DESIGN ENGINEER. PERMEABILITY TEST RESULTS TO BE PROVIDED TO BOARD ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM.  
2. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE PROPOSED STORMWATER SYSTEM. MAINTENANCE FOR THE CULTEC STORMWATER SYSTEM INCLUDES KEEPING THE SYSTEM AS FREE AS POSSIBLE OF DIRT, SILT, LEAVES AND ANY OTHER LITTER THAT MAY HINDER THE FREE FLOW OF WATER THROUGH THE SYSTEM. THE SYSTEM IS TO BE CLEANED OF SILT AND DEBRIS AS REQUIRED.

REV #	DATE	REVISION
7	11/03/22	REVISED PER NEW PARKING LAYOUT
6	07/13/22	REVISED PER TOWNSHIP ENGINEER STORMWATER MANAGEMENT COMMENTS
5	01/24/22	REVISED PER LABEL OF EXISTING PARKING AREAS AND LAYOUT CHANGES
4	08/27/21	REVISED PER BOARD PLANNER 06/29/21 & BOARD ENGINEER 06/29/21 REVIEW LETTERS
3	06/16/21	REVISED PER 06/15/21 SITE MEETING WITH FIRE DEPARTMENT & 05/14/21 EMAIL COMMENTS
2	05/11/21	REVISED PER BOARD ENGINEER 05/11/21 EMAIL COMMENTS
1	05/03/21	REVISED PER TOWNSHIP COMPLETENESS REVIEW #1 DATED 04/22/21



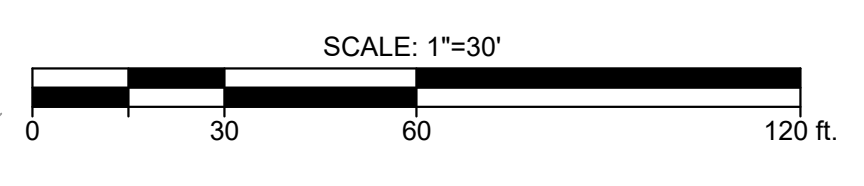
**MICHAEL J. ROTH**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 24GE05262600  
ALL WORKS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THIS PLAN OR ANY PORTION IS PROHIBITED WITHOUT WRITTEN PERMISSION OF ROTH ENGINEERING, LLC.

**ROTH ENGINEERING**  
NO. 1000 STATE ST. SUITE 200  
ROCKY HILL, NJ 07866  
PHONE: 973-715-7427  
EMAIL: MIKE@ROTHENGINEERS.COM

PRELIMINARY & FINAL MAJOR SITE PLANS FOR  
PROPOSED FARM BASED BREWERY AT BACKER FARM  
**GRADING, UTILITY AND SOIL EROSION  
& SEDIMENT CONTROL PLAN**  
BLOCK 109, LOT 23  
TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY

DATE: 03/08/21  
PROJECT NO.: 200901  
SHEET NO.:  
**5** OF **8**

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION  
SEE SHEET 1 OF THIS SET FOR GENERAL NOTES AND REFERENCES



2:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021  
 3:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021  
 4:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021  
 5:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021  
 6:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021  
 7:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021  
 8:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021  
 9:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021  
 10:\PROJECTS\20200901\1-Block 109\10901.dwg Plotted: 06/15/2021 11:00 AM PLOT DATE 06/15/2021

Symbol	Arrangement	Qty	Tag	Description
⬠	SINGLE	5	A1	DL-S-34W-2S-4000K (LIGHT SOURCE MOUNTED AT 20' AFG)
⬠	SINGLE	9	A2	DL-S-40W-4RW-4000K_EC (LIGHT SOURCE MOUNTED AT 20' AFG)
⬠	SINGLE	1	A3	DL-S-40W-5W-4000K_EC (LIGHT SOURCE MOUNTED AT 20' AFG)
⬠	SINGLE	1	A4	HRB-18-WB-H4-35LED-40 (LIGHT SOURCE MOUNTED AT 10' AFG)

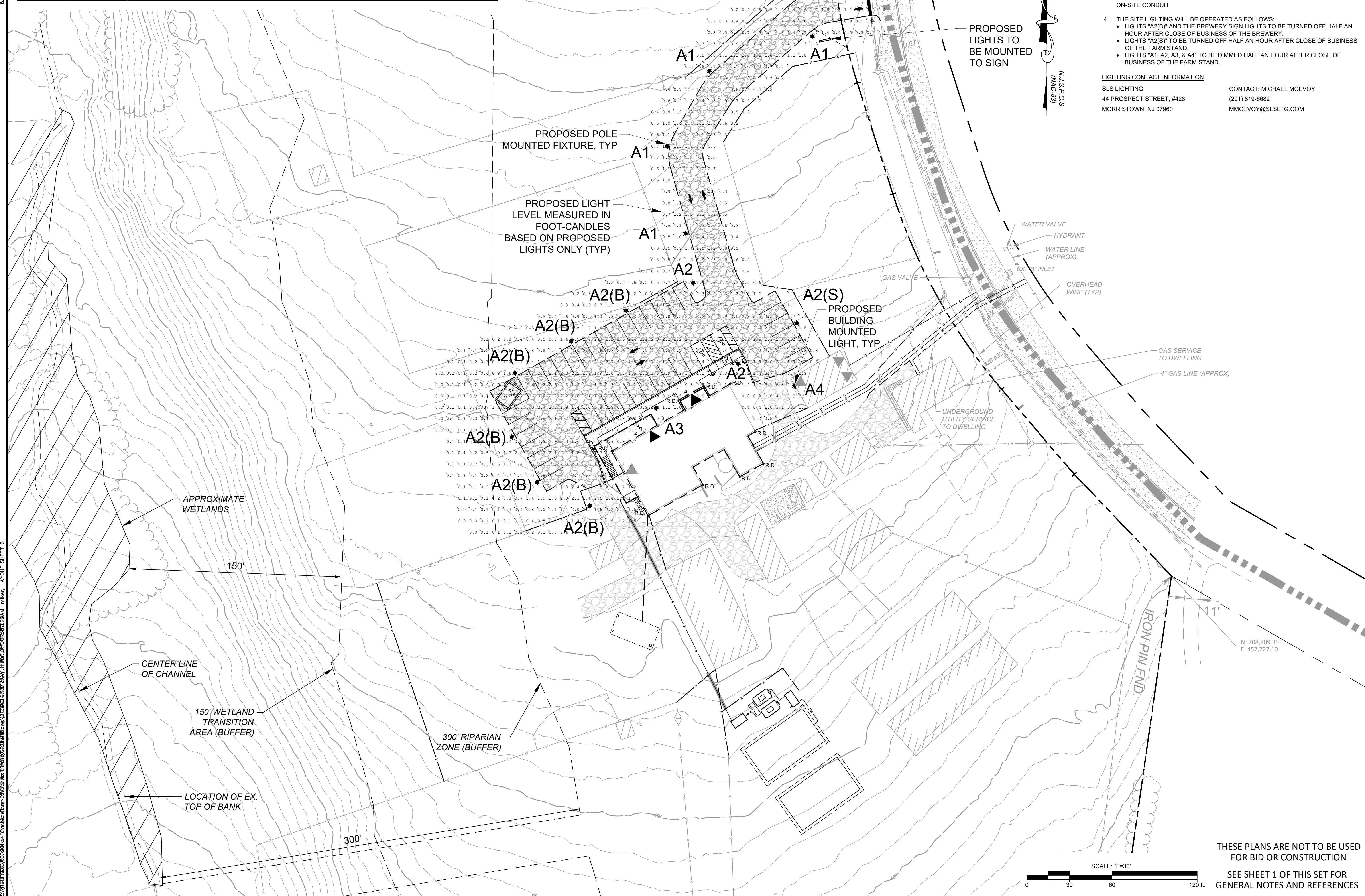
**BLOCK 109, LOT 23**  
 TOTAL AREA = 37.479± ACRES A1  
 = 1,632,600± SQUARE FEET

**LIGHTING NOTES:**

1. CONTRACTOR TO COORDINATE THE PROPOSED LIGHTING CONNECTIONS WITH ANY UTILITY CROSSINGS.
2. LIGHTS TO BE DIMMABLE AND ELECTRICAL CONTRACTOR TO COORDINATE LIGHTING CONTROLS WITH OWNER.
3. ELECTRICAL ENGINEER TO PREPARE ELECTRICAL DRAWINGS FOR CONSTRUCTION PHASE AND TO DESIGN CONDUIT LAYOUT AND CONNECTIONS TO EXISTING ON-SITE CONDUIT.
4. THE SITE LIGHTING WILL BE OPERATED AS FOLLOWS:
  - LIGHTS "A2(B)" AND THE BREWERY SIGN LIGHTS TO BE TURNED OFF HALF AN HOUR AFTER CLOSE OF BUSINESS OF THE BREWERY.
  - LIGHTS "A2(S)" TO BE TURNED OFF HALF AN HOUR AFTER CLOSE OF BUSINESS OF THE FARM STAND.
  - LIGHTS "A1, A2, A3, & A4" TO BE DIMMED HALF AN HOUR AFTER CLOSE OF BUSINESS OF THE FARM STAND.

**LIGHTING CONTACT INFORMATION**

SLS LIGHTING CONTACT: MICHAEL MCEVOY  
 44 PROSPECT STREET, #428 (201) 819-6882  
 MORRISTOWN, NJ 07960 MMCEVOY@SLSLTG.COM

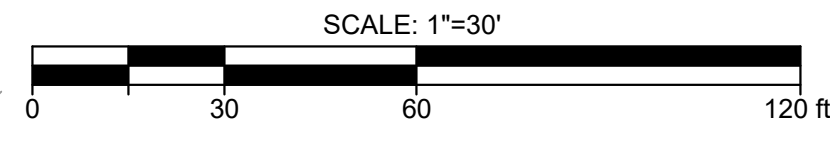


REV #	DATE	REVISION
6	11/03/21	REVISED PER NEW PARKING LAYOUT
5	07/13/21	REVISED PER TOWNSHIP ENGINEER STORMWATER MANAGEMENT COMMENTS
4	08/27/21	REVISED PER BOARD PLANNER 06/29/21 & BOARD ENGINEER 06/28/21 REVIEW LETTERS
3	06/16/21	REVISED PER 06/15/21 SITE MEETING WITH FIRE DEPARTMENT & 05/14/21 EMAIL COMMENTS
2	05/11/21	REVISED PER BOARD ENGINEER 05/11/21 EMAIL COMMENTS
1	05/03/21	REVISED PER TOWNSHIP COMPLETENESS REVIEW #1 DATED 04/22/21

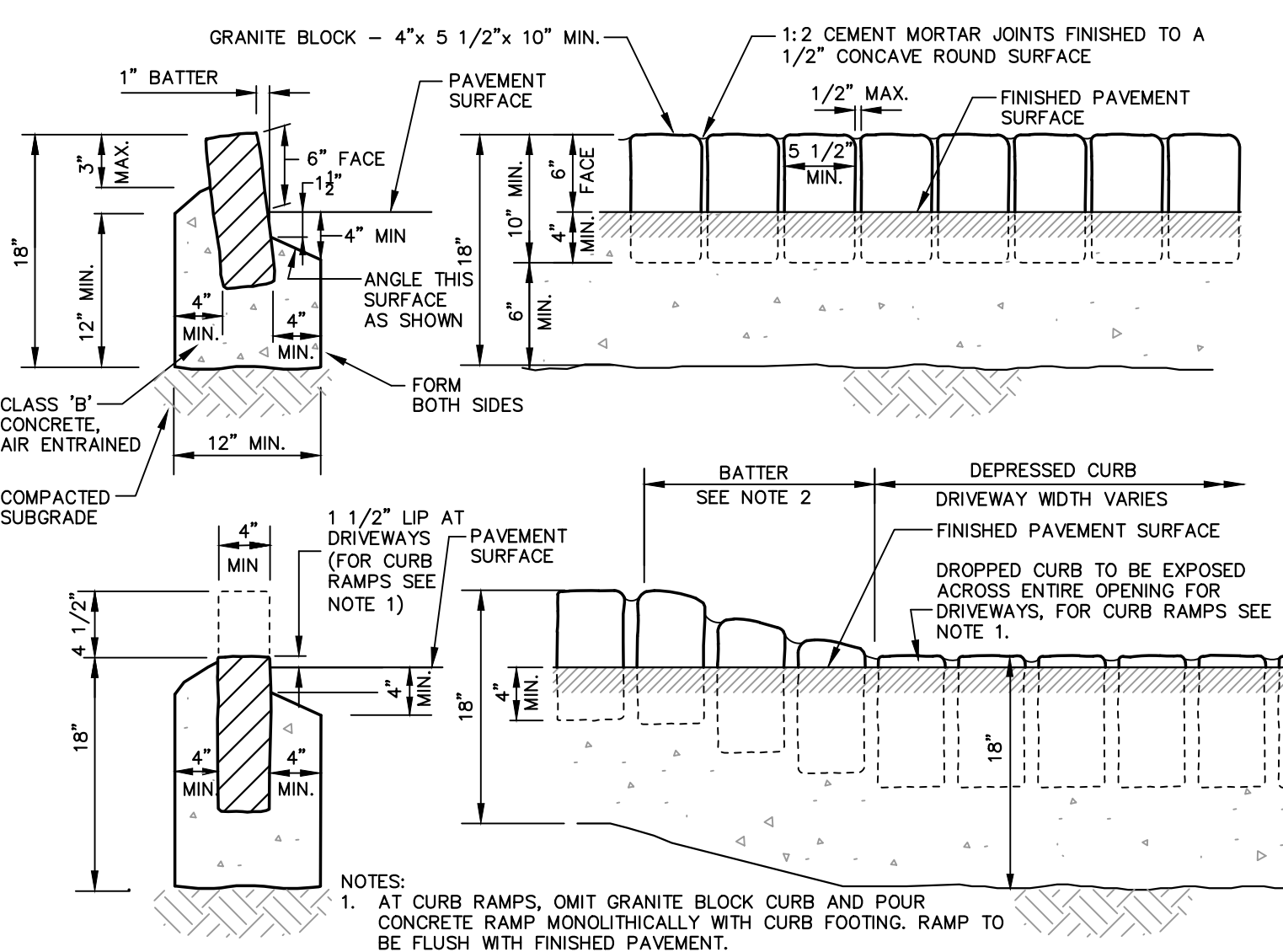
**MICHAEL J. ROTH**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 24GE00262600  
ALL WORK IS SUBJECT TO THE PROFESSIONAL ENGINEER'S REGULATION AND THE JURISDICTION OF THIS BOARD OR ANY PORTION IS PROHIBITED WITHOUT WRITTEN PERMISSION OF ROTH ENGINEERING, LLC.

PRELIMINARY & FINAL MAJOR SITE PLANS FOR  
 PROPOSED FARM BASED BREWERY AT BACKER FARM  
**ROTH ENGINEERING**  
 52 QUAIL RUN, LONG VALLEY, NJ 07853  
 PHONE: 973-715-7427  
 EMAIL: MIKE@ROTHENGINEERS.COM

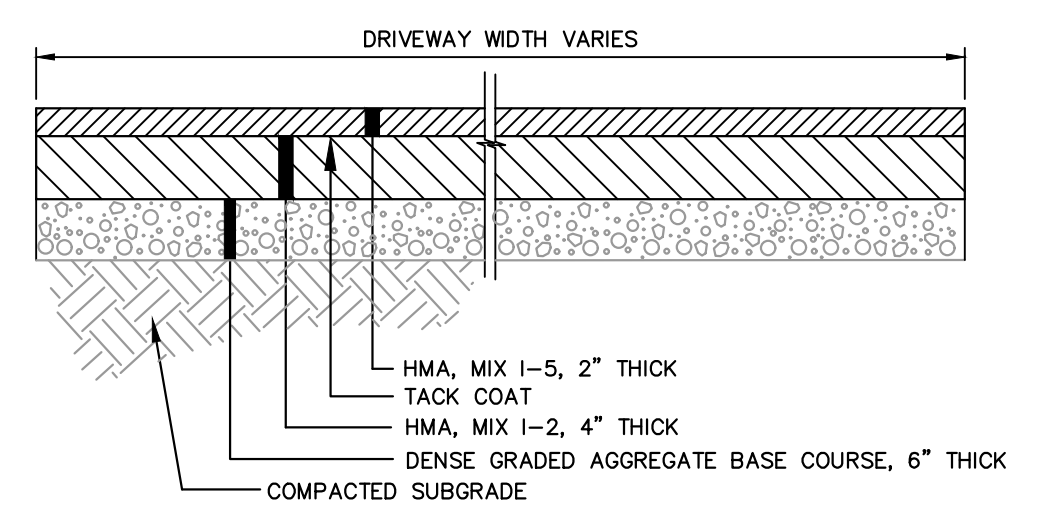
THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION  
 SEE SHEET 1 OF THIS SET FOR GENERAL NOTES AND REFERENCES



2:\P\106002-100\_S\DWG\2\_Site Plans\209901-DETAILS.dwg, 11/03/22 07:18:54 AM, miker, LAYOUT-DETAILS

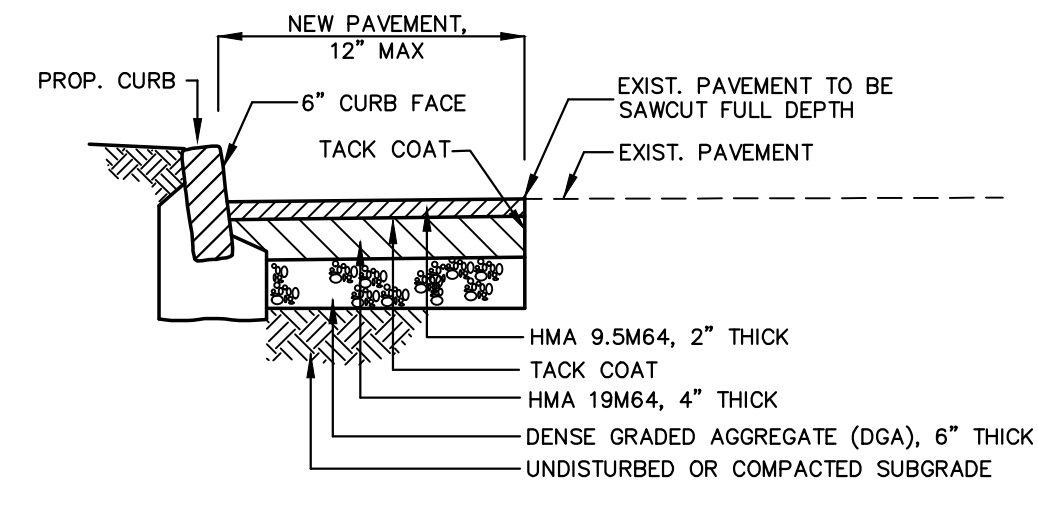


**GRANITE BLOCK CURB DETAIL**  
N.T.S.

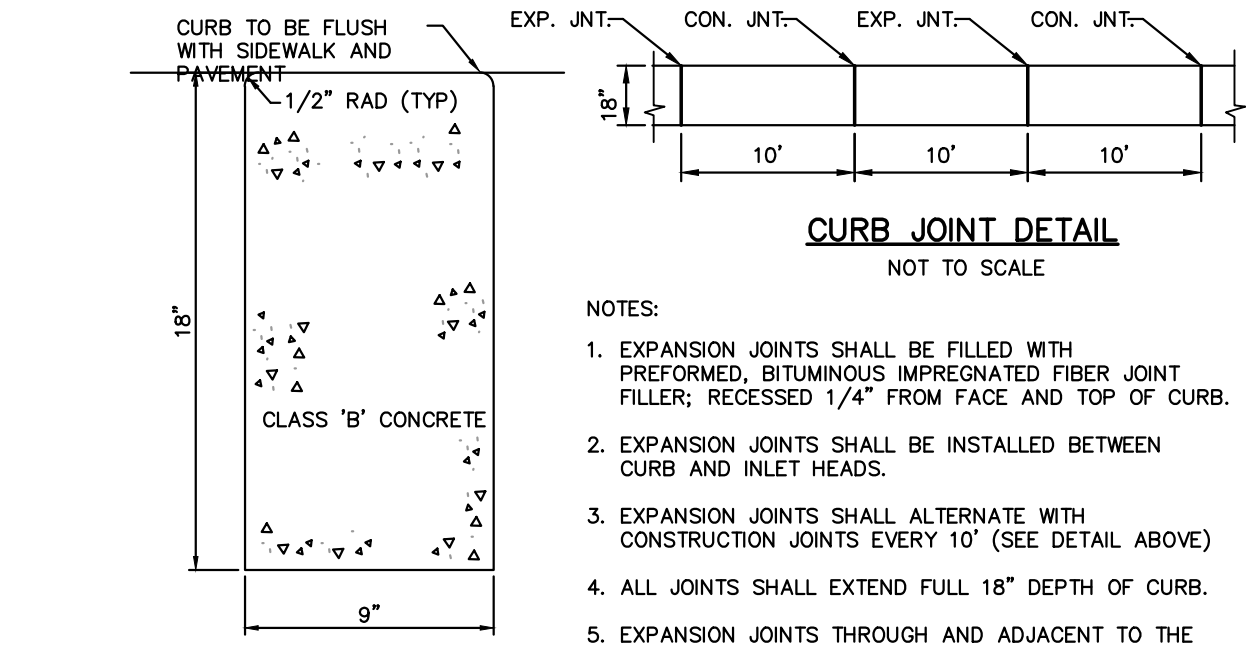


**TYPICAL SECTION  
HOT MIX ASPHALT DRIVEWAY  
(FULL DEPTH)**  
N.T.S.

NOTE: FOR DRIVEWAY CONSTRUCTION WITHIN RIGHT-OF-WAY FOLLOW THE PERMIT 21-01 CONDITIONS. THE PUBLIC WORKS DEPARTMENT (PHONE: 973-543-4509) SHALL BE NOTIFIED 48 HOURS PRIOR TO BEGINNING PERMITTED WORK. REMOVE FROM SITE ALL EXCAVATED MATERIAL, CONSTRUCTION WITH BASE COURSE OF 4" OF SOIL AGGREGATE, NDOT TYPE 5, CLASS A (QUARRY PROCESS) THOROUGHLY ROLLED AND COMPACTED, AND SURFACE COURSE OF 2" OF BITUMINOUS CONCRETE, NDOT MIX 1-5 (FABC). ALL PAVEMENT THICKNESS INDICATED ABOVE SHALL BE COMPACTED THICKNESS.

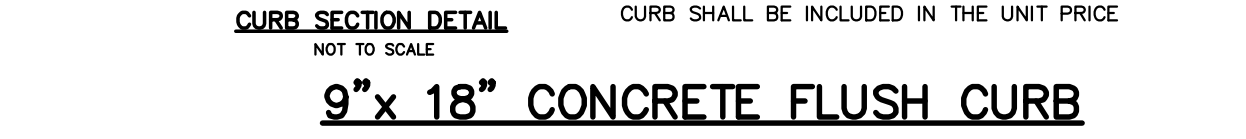


**TYPICAL PAVEMENT REPAIR STRIP**  
N.T.S.

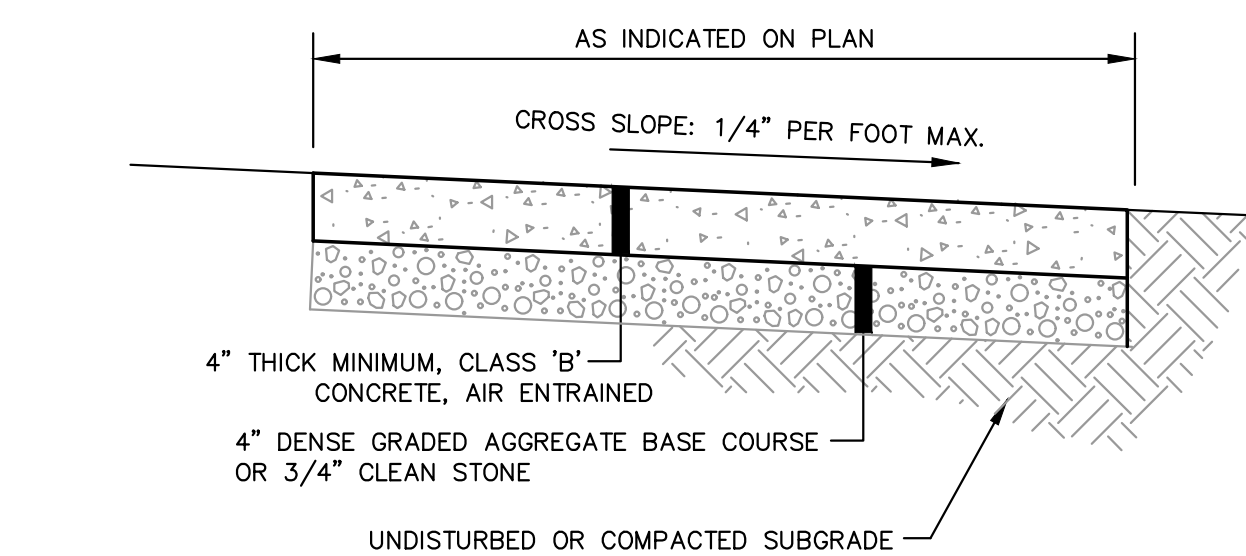


**CURB JOINT DETAIL**  
NOT TO SCALE

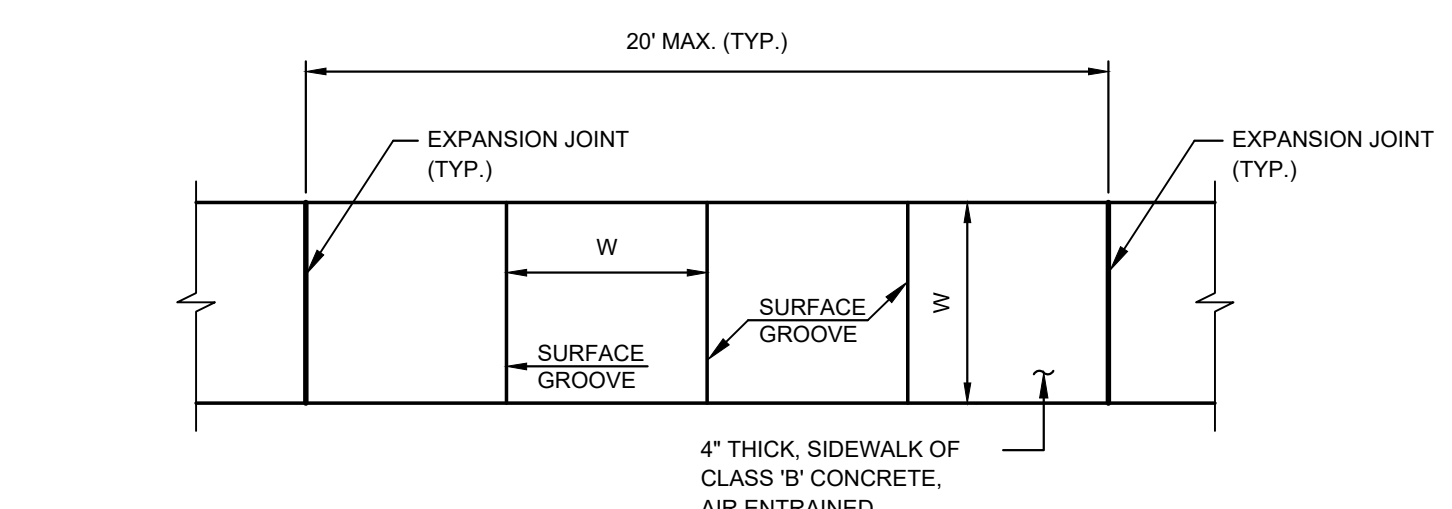
- NOTES:
1. EXPANSION JOINTS SHALL BE FILLED WITH PREFORMED, BITUMINOUS IMPREGNATED FIBER JOINT FILLER, RECESSED 1/4" FROM FACE AND TOP OF CURB.
  2. EXPANSION JOINTS SHALL BE INSTALLED BETWEEN CURB AND INLET HEADS.
  3. EXPANSION JOINTS SHALL ALTERNATE WITH CONSTRUCTION JOINTS EVERY 10' (SEE DETAIL ABOVE).
  4. ALL JOINTS SHALL EXTEND FULL 18" DEPTH OF CURB.
  5. EXPANSION JOINTS THROUGH AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE.



**9"x 18" CONCRETE FLUSH CURB**



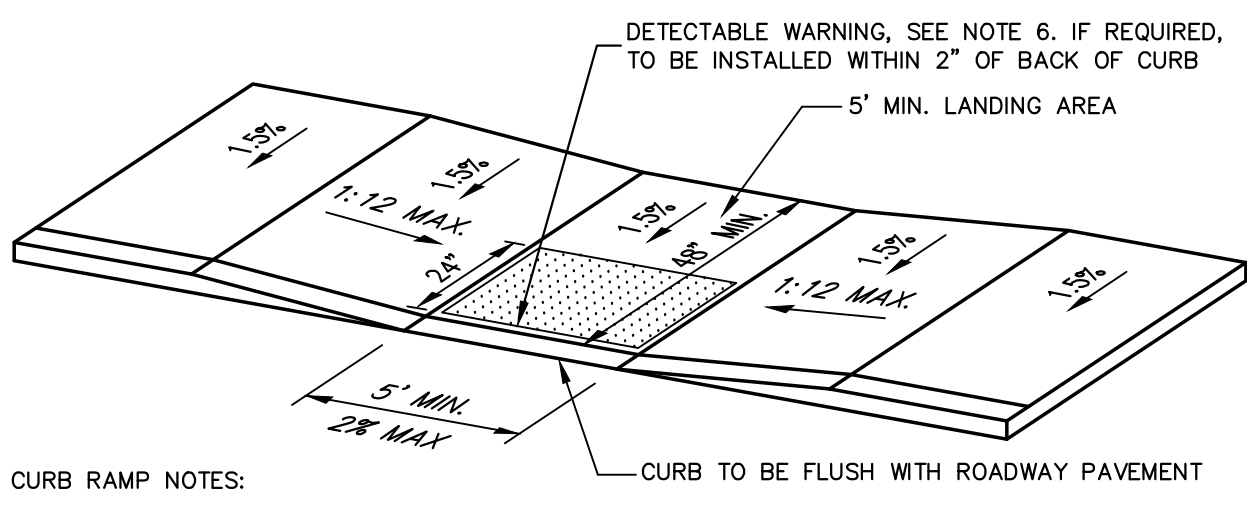
**CONCRETE SIDEWALK**  
N.T.S.



**JOINT PLACEMENT DETAIL**  
N.T.S.

- NOTES:
1. 4" CLEAN STONE SUBBASE SHALL BE COMPACTED TO A FIRM AND EVEN SURFACE TO THE SATISFACTION OF THE ENGINEER.
  2. ALL CONCRETE SHALL BE AIR-ENTRAINED AND CONTAIN AN AIR CONTENT OF 6% ± 1.5%.
  3. CONCRETE SHALL BE STRUCK OFF WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLOATS AND STRAIGHTEDGES UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
  4. THE SURFACE SHALL BE FINISHED WITH A WOODEN FLOAT AND BRUSHED PERPENDICULAR TO PATH WITH A WET, SOFT-HAIRED BRUSH.
  5. ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4" INCH.
  6. PREFORMED EXPANSION JOINT FILLER, 1/4" INCH THICK, SHALL BE FORMED AROUND ALL APPURTENANCES, SUCH AS MANHOLES AND UTILITY POLES, EXTENDING INTO OR THROUGH THE CONCRETE.
  7. THE SURFACE OF THE CONCRETE SHALL BE SO FINISHED AS TO DRAIN COMPLETELY AT ALL TIMES.

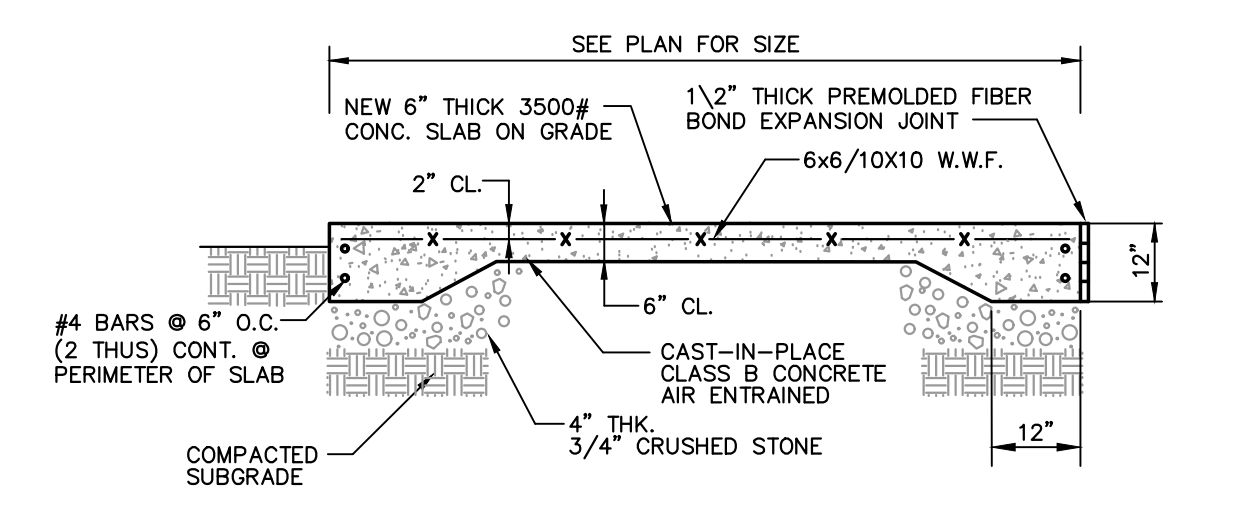
**CONCRETE SIDEWALK**  
N.T.S.



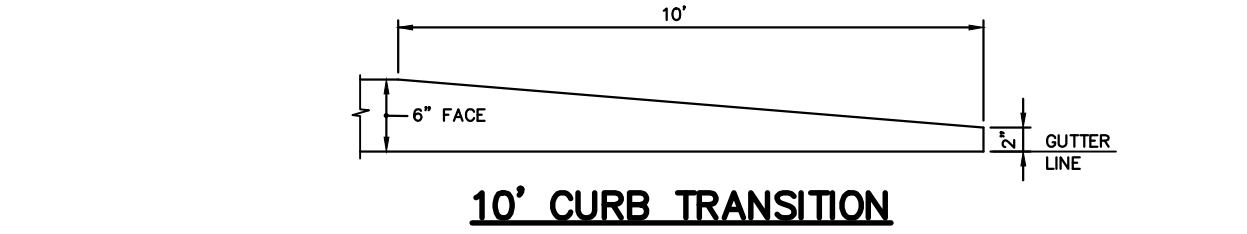
**CURB RAMP (PARALLEL)  
SIDEWALK ADJACENT TO CURB**  
N.T.S.

- CURB RAMP NOTES:
1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
  2. CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 5' AT PARALLEL CURB RAMPS.
  3. IF CURB IS GRANITE BLOCK, OMIT THE BLOCK WITHIN THE FLUSH AREA AND FORM WITH CONCRETE ONLY. RAMP MAY BE POURED MONOLITHICALLY WITH THE CURB.
  4. RAMP LENGTH IS AS REQUIRED TO NOT EXCEED MAX SLOPE, AND SHALL BE VERIFIED IN FIELD. RAMPS DRAWN IN PLAN VIEW MAY BE SCHEMATIC TO INDICATE TYPE OF RAMP AND MAY NOT INDICATE ACTUAL LENGTH.
  5. RUNNING SLOPE SHALL BE CONSISTENT FOR THE ENTIRE LENGTH OF THE RAMP.
  6. FOR RAMPS IN THE PUBLIC ROW OR WHERE INDICATED ON THE PLAN, SHADED AREA SHALL HAVE DETECTABLE WARNING THE FULL WIDTH OF THE FLUSH CURB. DETECTABLE WARNINGS SHALL BE 24" MIN MEASURED PERPENDICULAR TO CURB. ALL DETECTABLE WARNING SURFACES SHALL BE EMBEDDED IN THE CONCRETE. A 2" BORDER OF CONCRETE IS ALLOWED TO FACILITATE EMBEDMENT.

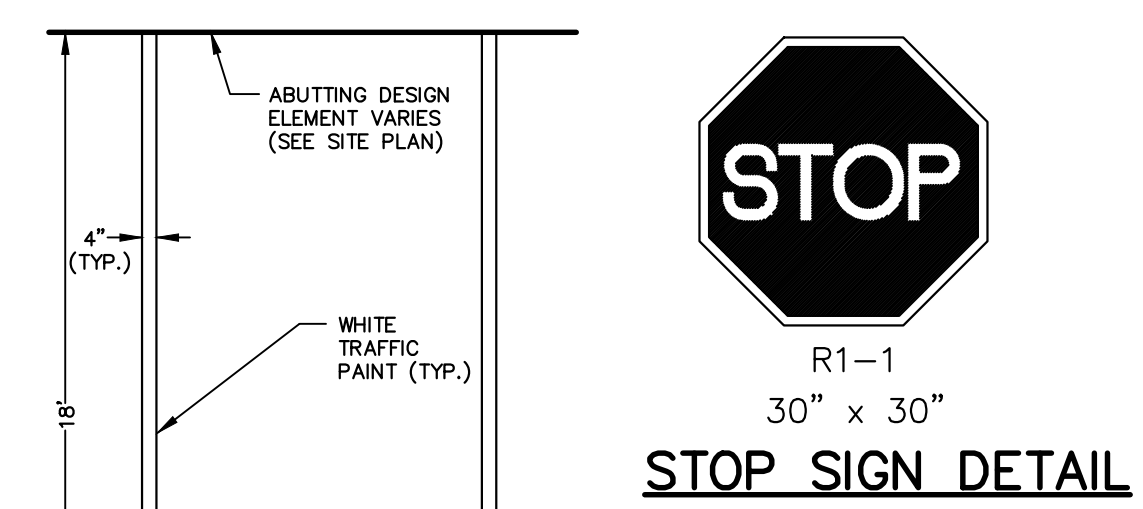
**CURB RAMP (PARALLEL)  
SIDEWALK ADJACENT TO CURB**  
N.T.S.



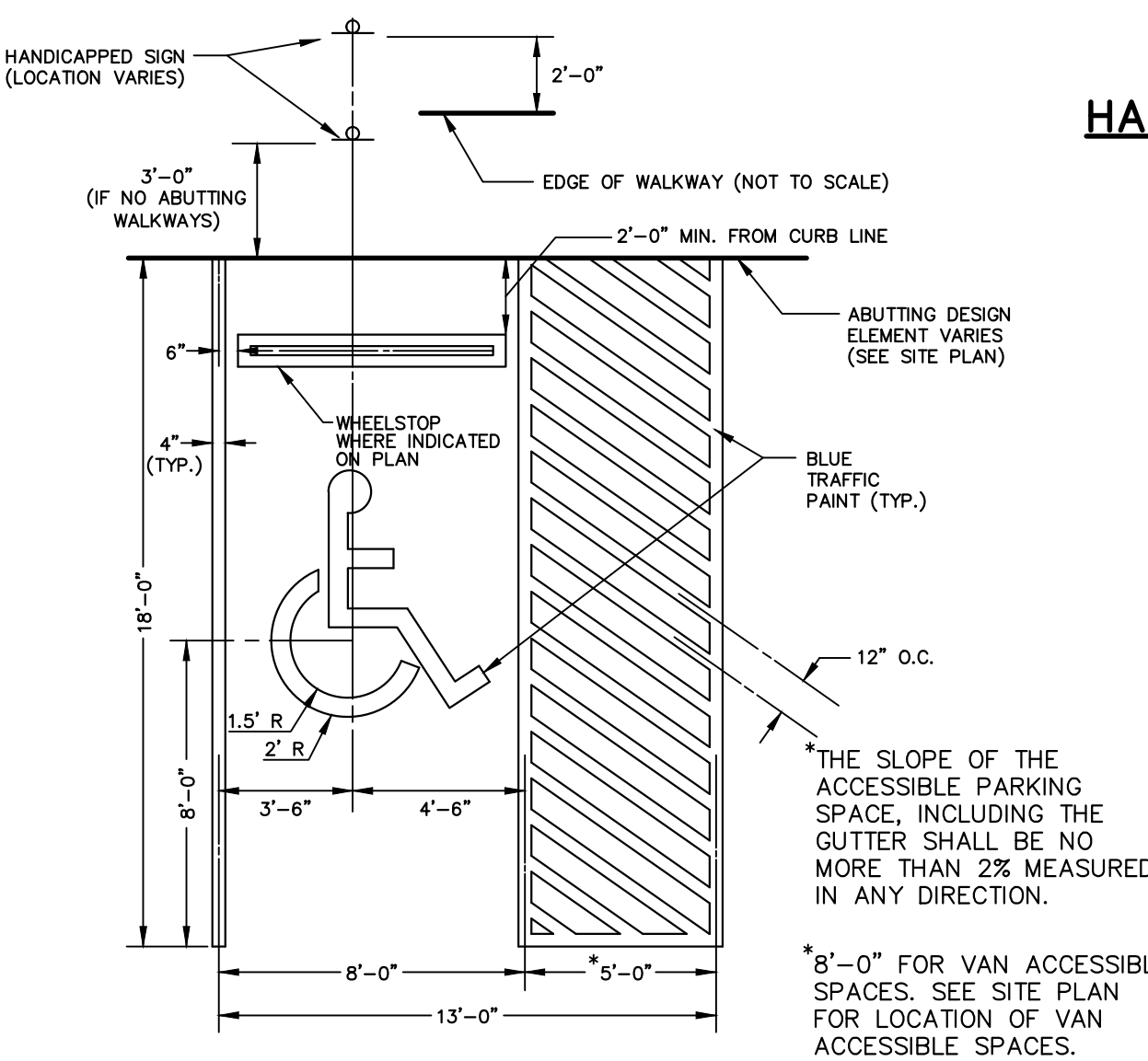
**CONCRETE PAD DETAIL**  
SCALE: NTS



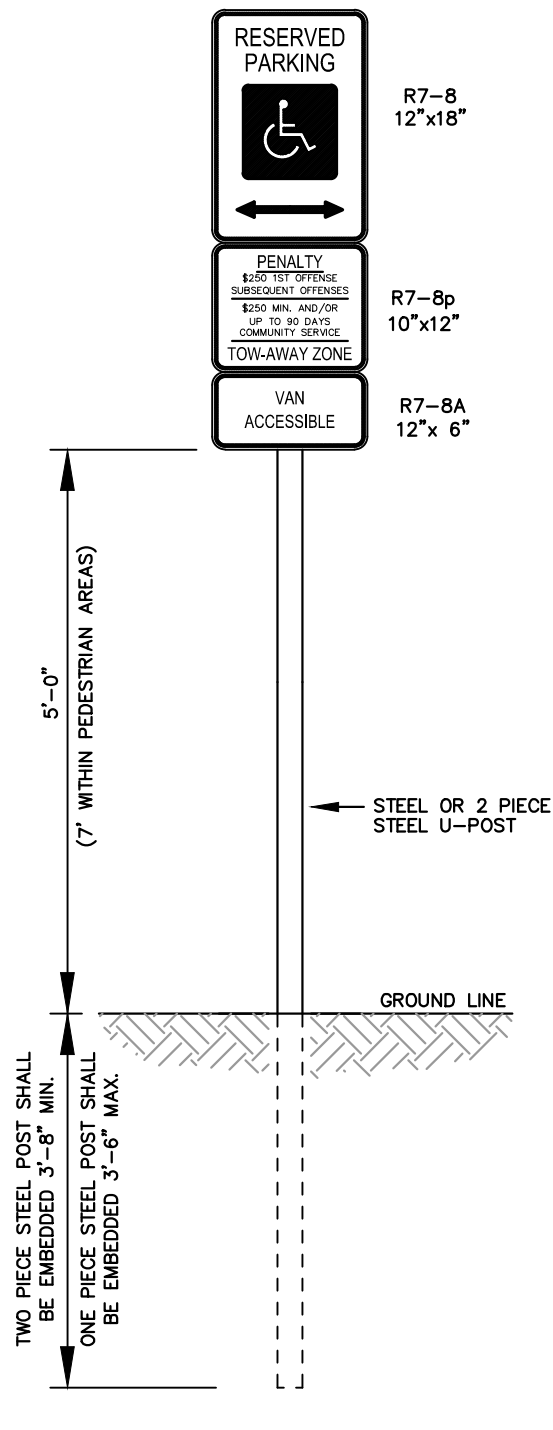
**10' CURB TRANSITION**  
NOT TO SCALE



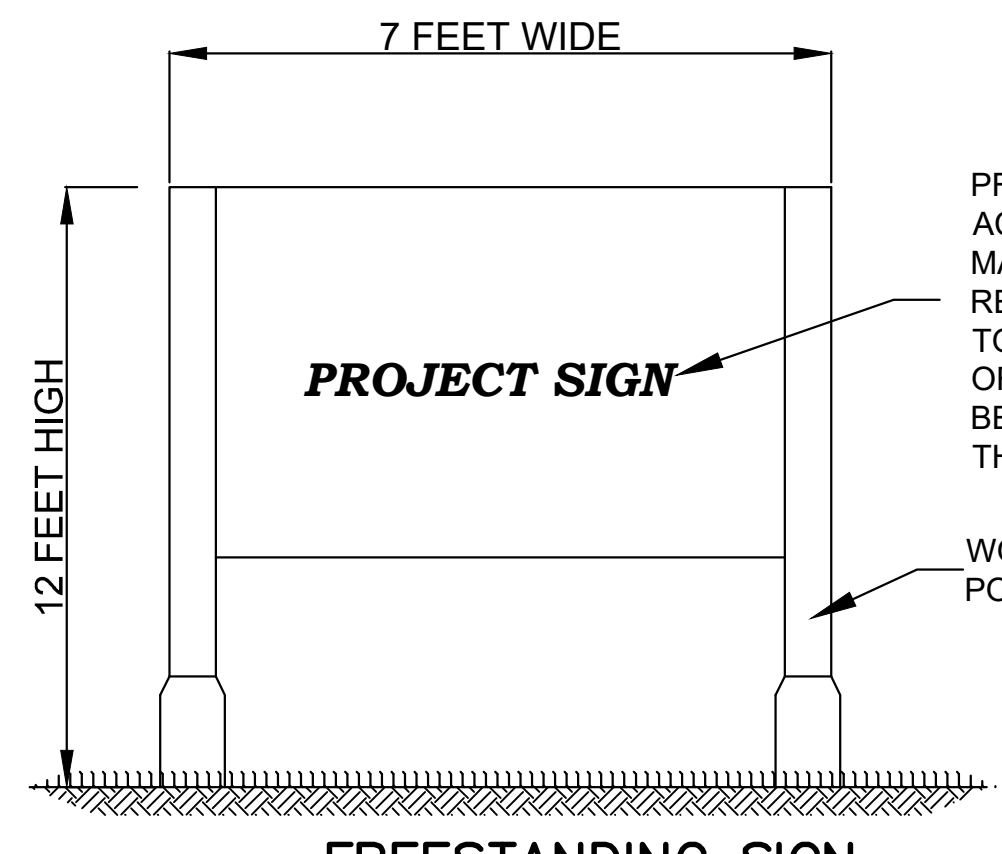
**PARKING SPACE STRIPING**  
N.T.S.



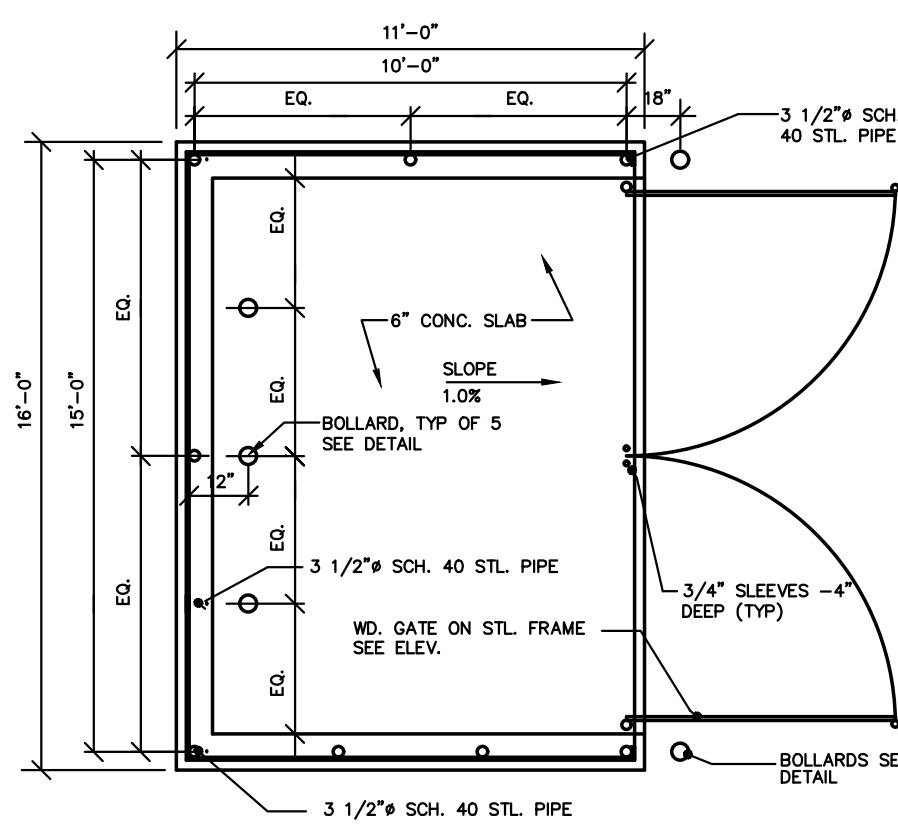
**HANDICAPPED PARKING SPACE**  
N.T.S.



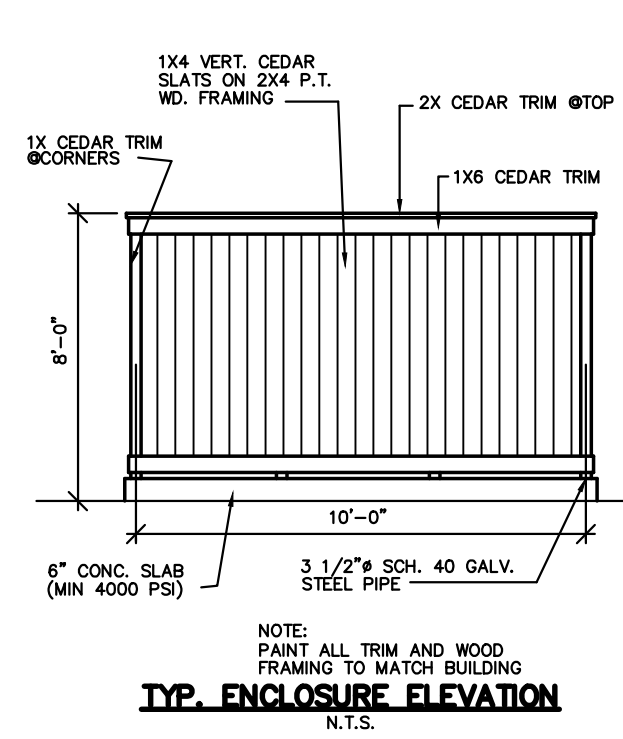
**HANDICAPPED PARKING SIGNS**  
N.T.S.



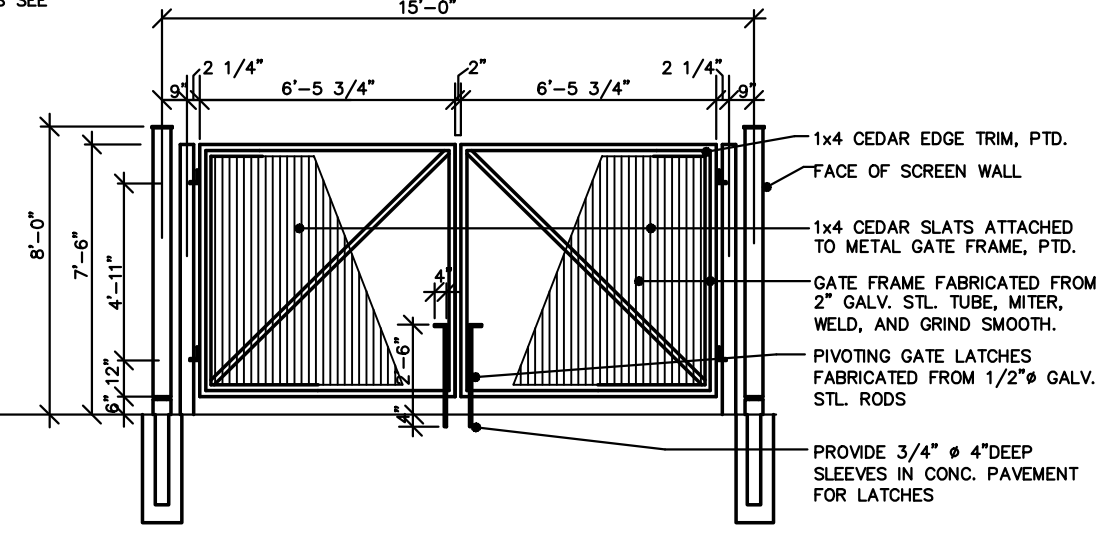
**FREESTANDING SIGN**  
SCALE: NTS



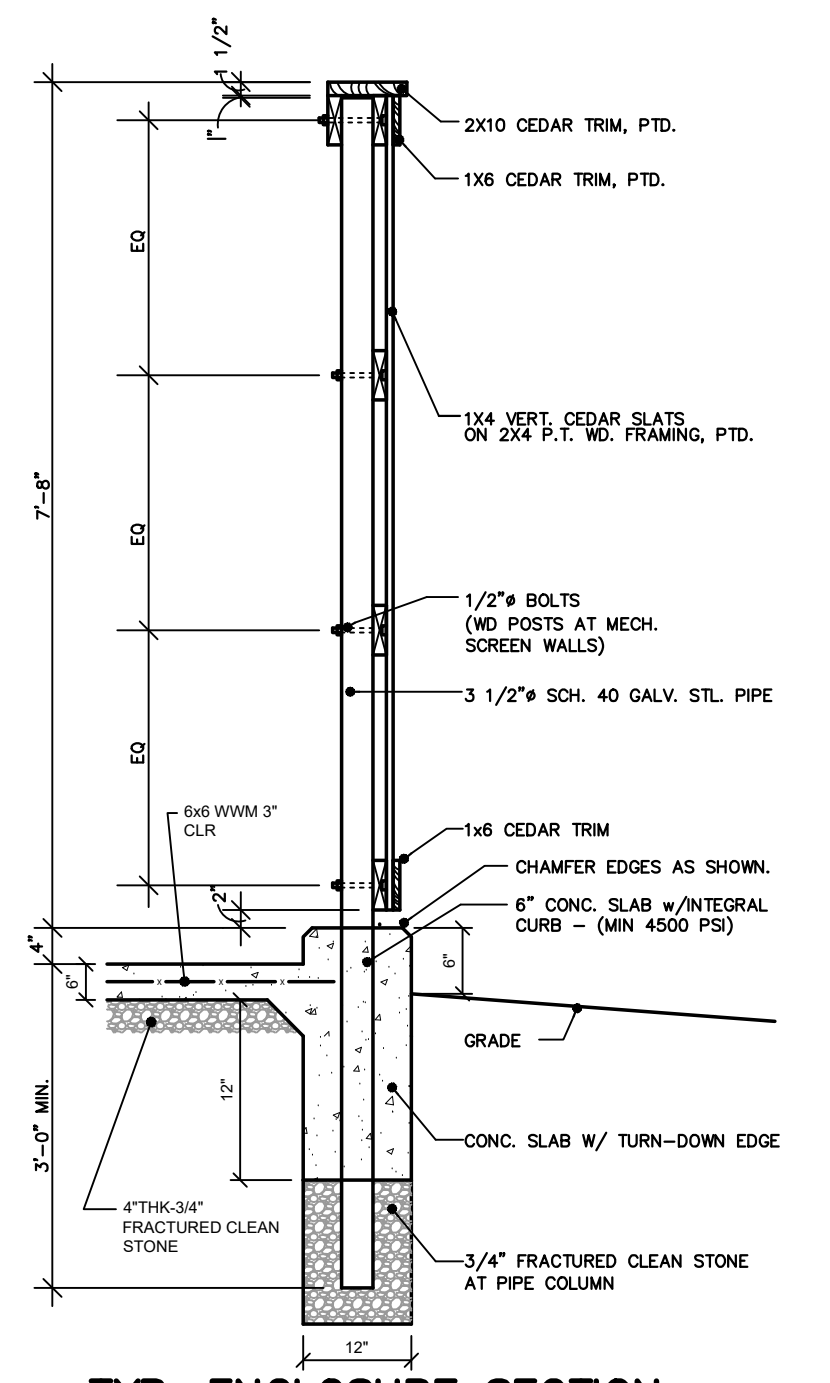
**DUMPSTER ENCLOSURE PLAN**  
N.T.S.



**TYP. ENCLOSURE ELEVATION**  
N.T.S.



**ENCLOSURE GATE ELEVATION**  
N.T.S.



**TYP. ENCLOSURE SECTION**  
N.T.S.

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION  
SEE SHEET 1 OF THIS SET FOR GENERAL NOTES AND REFERENCES

MICHAEL J. ROTH		PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 24GE00262600	
ROTH ENGINEERING		ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF ROTH ENGINEERING, LLC.	
PRELIMINARY & FINAL MAJOR SITE PLANS FOR PROPOSED FARM BASED BREWERY AT BACKER FARM		BLOCK 109, LOT 23 TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY	
CONSTRUCTION DETAILS		DATE: 03/08/21	
PROJECT NO.: 200901		SHEET NO.:	
		<b>7 OF 8</b>	

